



**Public Comment
Period**

**November 26, 2003
Through
December 26, 2003**



Dear Interested Citizen,

This Fact Sheet is to inform you about the proposed remediation of Site A, OU2 at the Hunts Point Food Distribution Center, and to provide opportunity for you to comment on the proposed remediation

The response plan for the remediation is available in the document repositories which are indicated on this page of the Fact Sheet. Comments will be received by the NYSDEC during the period listed above.

Comments may be submitted to:

Ronnie Lee
NYSDEC
625 Broadway
Albany, NY 12233-7016
(518) 402-9768

FACT SHEET

Site A, Operable Unit No. 2, Site No. V00233-2
Hunts Point Food Distribution Center
Bronx, New York

November 2003

**Remedial Action Proposed
for Site A, Operable Unit No. 2 at the
Hunts Point Food Distribution Center**

Public Comment Period Announced

The New York State Department of Environmental Conservation (NYS DEC) and the New York State Department of Health (NYS DOH) announce the availability of the Remedial Action Work Plan (the "Response Plan") for Site A, Operable No. 2 (OU2) at the Hunts Point Food Distribution Center (HPFDC) in the Bronx, New York. The work will be carried out by the owner of the property, the New York City Economic Development Corporation (NYCEDC) under the provisions of the NYSDEC Voluntary Cleanup Program.

The Proposed Action: Highlights include excavation and off-site disposal of contaminated soil; in-situ groundwater treatment; importation of fill material to bring the site up to final grade; construction of an asphalt parking lot; and implementation of institutional controls. Any landscaped areas will be covered by a demarcation barrier and one (1) foot of clean soil. The Response Plan is available for public review at the site document repositories listed below.

Your opportunity to Comment on the Proposed Remedy: Release of the Response Plan initiates a process of finalizing the remedy selected for the site. *Your comments and input about the proposed remedy are important and encouraged.*

Document Repositories: (To review the complete work plan)

NYSDEC Region 2
Regional Headquarters
One Hunters Point Plaza
47-40 21st Street
Long Island City, NY 11101
Attn: Vadim Brevdo
(718) 482-4891
M - F 8pm - 4:45pm

NYCEDC
110 William Street
New York, NY 10038
Attn: Kay Zias
(212) 312-3752
M - F 9am - 5pm

New York Public Library
Hunts Point Branch
877 Southern Boulevard
Bronx, NY 10459
Attn: Sandra Pugh
(718) 617-0338
M 12noon - 7pm
Tu & Th 10am - 6pm
W & F 1pm - 6pm
Sat 10am - 5pm

For More Information: Call or write the following staff about:

Response Plan Concerns:
Ronnie Lee, P.E.
NYS DEC
625 Broadway
Albany, New York 12233-7015
(518) 402-9622

Health-Related Concerns:
Stephanie Selmer
NYS DOH, BEEI
Flanigan Square
547 River Street
Troy, NY 12180
1(800)458-1158, ext. 27880

BACKGROUND

The HPFDC lies on the Hunts Point peninsula in the South Bronx and is comprised of five (5) separate parcels listed as A through E. It was formerly used by Consolidated Edison for a coal gasification facility (coking station) which was constructed between 1924 and 1932, and operated until the early 1960s. Site A, OU2 is located in the northwest portion of the HPFDC. Directly to the east of the site is OU1 which has already been remediated and developed as a parking lot under the Voluntary Cleanup Program. To the west, the site is bounded by Halleck Street, to the north by Viele Avenue and to the south by Food Center Drive. Site A, OU2 is approximately 7.5 acres in size. The subject property location is shown on the attached map.

REMEDIAL INVESTIGATIONS CONCLUSIONS

An on-site subsurface investigation approved by the NYSDEC and NYSDOH was conducted by the volunteer under NYSDEC oversight. The investigation included sampling and analysis from 5 trenches, 6 temporary piezometers, 3 deep, and 13 shallow soil borings. The excavated trenches were on average approximately 200 feet in length and 10 feet in depth.

Most of the subsurface soil samples were collected from areas exhibiting visual or olfactory signs of contamination, and were composited for laboratory analysis. The maximum concentration of benzene found in soil was 24 parts per million (ppm). The NYSDEC soil cleanup objective for benzene is 0.06 ppm. The maximum concentration of total carcinogenic polyaromatic hydrocarbons (cPAHs) found in soil was 1,121 ppm. Concentrations of total cPAHs above 10 ppm will be remediated. Soil samples collected from locations exhibiting obvious signs of purifier waste contamination contained a maximum total cyanide concentration of 1,310 ppm.

Groundwater was collected from temporary piezometers installed to monitor groundwater quality at the site. Benzene was detected at a maximum concentration of 420 parts per billion (ppb), and naphthalene at a maximum concentration of 4,200 ppb. The Class GA groundwater standards for benzene and naphthalene are 1 ppb and 10 ppb, respectively.

HEALTH EXPOSURE ASSESSMENT

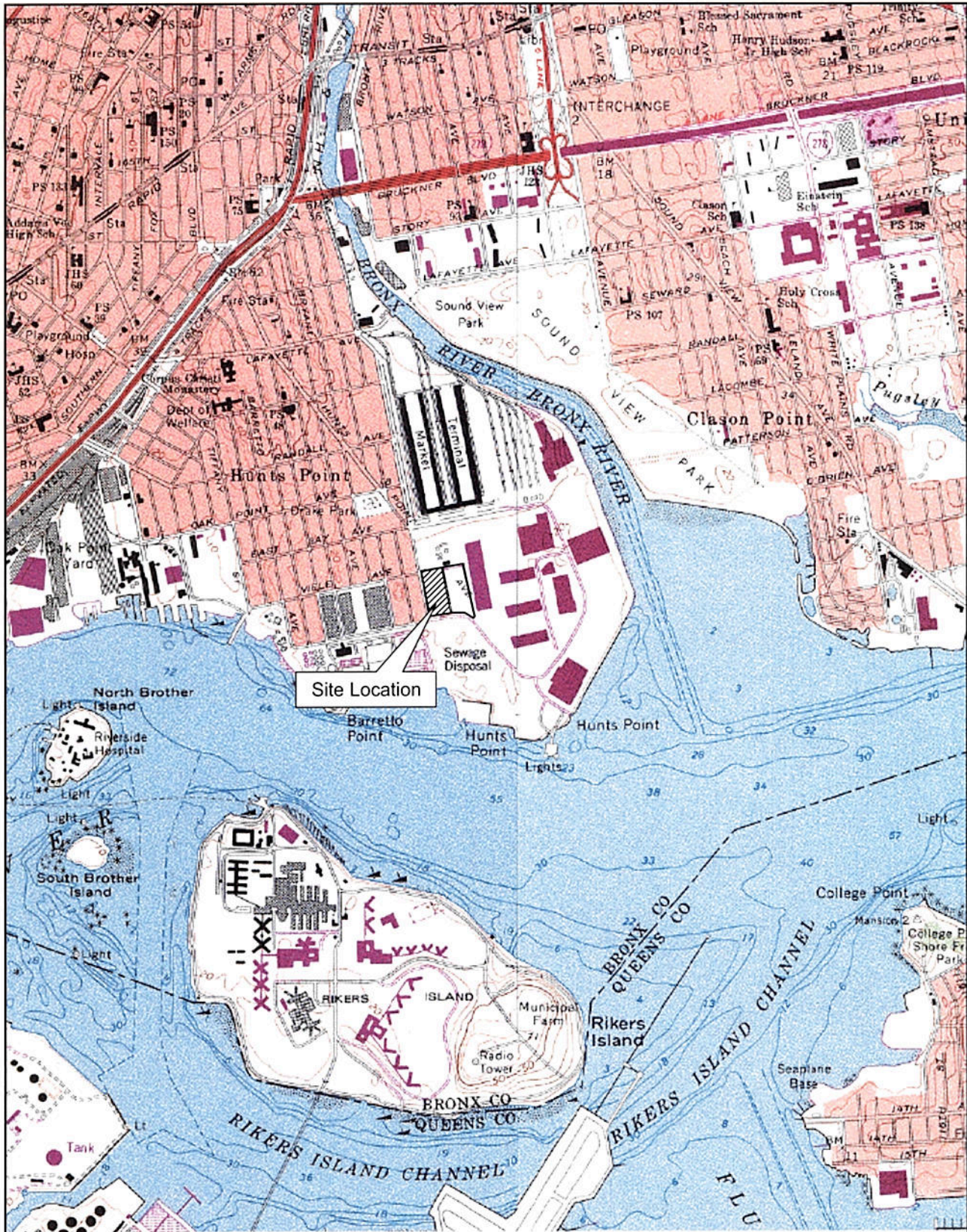
Exposure to site-related contaminants will be unlikely once the proposed remedy is completed. The parking lot and soil cover will prevent direct exposure to residual contamination in soil. Groundwater at the site is not used as a source of drinking water, therefore exposure through groundwater is not expected.

PROPOSED REMEDIAL ACTION

The objective of the remedial action is to remove soil visibly contaminated with coal tar and purifier waste in order to reduce the potential for exposure to contaminated soil and to reduce the soil's potential impact to groundwater. An asphalt parking lot will be constructed to cover the majority of the site. Contaminated groundwater will be treated in-situ using Oxygen Release Compound (ORC). ORC remediates groundwater contamination by accelerating the natural degradation of the contaminants to form

carbon dioxide and water. The proposed remedy would include:

- Visibly contaminated soil, including approximately 22,000 cubic yards of material containing coal tar, and approximately 5,300 cubic yards of purifier bed waste will be excavated.
- Upon removal of all wastes, contaminated groundwater will be treated by applying ORC to the "open pit" areas. Following the ORC application, the "open pit" areas will be backfilled.
- Consistent with the Volunteer's re-use of the site, an employee asphalt parking lot with 357 spaces will be constructed on the site to service the state-of-the-art wholesale seafood distribution facility (the "Fulton Street Fish Market") that is currently being constructed on Site B immediately south of the site.
- One (1) foot of clean soil will be placed over areas not covered by the parking lot to prevent direct exposures to any residual contamination remaining in the soil. These areas will be demarcated with geotextile fabric prior to the placement of the one foot of clean soil.
- Institutional and engineering controls will be imposed to limit future site development work and prevent future exposures to site contaminants. These will include: (a) a prohibition on land development for residential use; (b) worker notification if utility of other excavation work is planned; (c) notification to the NYSDEC prior to initiating any ground-intrusive activities; and, (d) development and approval of a soil management plan to address how any contaminated soil or waste removed from below the asphalt cover (parking lot) will be handled.
- Annual certification by a licensed Professional Engineer will be required to ensure that the engineering and institutional controls are in place and remain effective.



0 2000 ft
 ~SCALE: 2000' = 1"

Map source: USGS 7.5 minute quadrangle series,
 Central Park, NY-NJ, 1966, photorevised 1988.

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LMS Lawler, Matusky & Skelly Engineers LLP
 One Blue Hill Plaza • Pearl River, New York 10965
 ENVIRONMENTAL SCIENCE & ENGINEERING CONSULTANTS

Site Location
Site A Second Operable Unit
 Hunts Point

Figure
1

