



Antea USA, Inc.  
5788 Widewaters Parkway, 2<sup>nd</sup> Floor  
Syracuse, NY 13214 USA  
www.anteagroup.com

September 5, 2017

David Szymanski  
New York State Department of Environmental Conservation  
Division of Environmental Remediation  
270 Michigan Avenue  
Buffalo, NY 14203-2915

Subject: 2017 Periodic Review Report  
Former Champion Products Facility  
200 North Main Street  
Perry, New York 14530  
NYSDEC Site No. V00189

Dear Mr. Szymanski,

On behalf of Hanesbrands, Inc. (Hanesbrands), Antea® Group has prepared this Periodic Review Report (PRR), which documents implementation of, and compliance with, the site-specific Site Management (SM) requirements detailed in the New York State Department of Environmental Conservation (NYSDEC) approved Site Management Plan (SMP), dated March 2013. The reporting period covered for this PRR is from August 2016 to August 2017 and includes quarterly inspection events conducted in October 2016, February and May 2017 and the annual event in August 2017. Certification documents are presented in Attachment 1. As required by the NYSDEC, an individual hardcopy of the original signed certification documents will be sent under separate cover as well as by electronic format.

### **1.0 EXECUTIVE SUMMARY**

The Former Champion Products Facility (the “site”) is a 26-acre property with a 150,000 square foot (s.f.) building and a separate 9,600 s.f. bus garage located in the Village of Perry, New York. The site was owned and operated by Champion Products, Inc. (Champion) from 1955 to 1998. In 1998, the property was sold to SMG Development LLC (SMG). From 1998 until December 2001, Champion leased the building from SMG. In January 2002, American Classic Outfitters (ACO) was formed and operated at the site through November 2009 when ACO sold its business to Liebe of New York. The facility has been primarily used since 1955 for the manufacture of print screen apparel and custom sports apparel for sports teams and retail sale.

In March 2000, Champion entered into a Voluntary Cleanup Agreement (VCA) with NYSDEC for the remediation of soil and groundwater underlying the facility, which was impacted by chlorinated and non-chlorinated volatile organic compounds (VOCs). Remediation activities included: excavation of impacted soils, installation and operation of a dual phase vapor extraction system (DPVE) and installation and operation of a



sub-slab depressurization system (SSDS). Engineering controls (EC) have been incorporated into the site remedy to control exposure during the use of the site. Institutional controls (ICs) were also placed on usage of the site and mandate operation, monitoring and reporting measures for all ECs and ICs through the NYSDEC approved SMP.

During the reporting period ECs have been effective in controlling exposure during use of the site and have ensured protection of public health and the environment. Over this period, the SSDS has performed within its design specifications and has achieved remedial objectives. Cover systems have also remained intact and have remained effective in limiting exposure. ICs placed on the site have remained unchanged and nothing has occurred onsite that impairs the ability of the controls to protect human health or the environment. ICs remain unchanged at the site.

## **2.0 SITE OVERVIEW**

The site is located at 200 North Main Street in the Village of Perry, County of Wyoming, New York and is approximately 26-acres in size (Figures 1 and 2). The site is bounded by North Main St., commercial properties and residential properties to the north, vacant wooded land to the south, farmland and residential properties to the east, and residential properties and North Genesee St. to the west. The main onsite building is approximately 150,000 s.f. in size with a section that is approximately 75,000 s.f., which is not part of the site (Figure 3). In 2014, a 9,600 s.f., three bay, steel frame construction, bus garage was constructed in the northeast corner of the site and is now utilized for parking of busses (Figure 1). The bus garage is located approximately 600 feet north-northeast of the main building in a paved parking area.

### **Site History**

The site was owned and operated from 1955 until 1998 by Champion, an affiliate of the Sara Lee Corporation. In 1998, the property was sold to SMG, the current owner of the site. Following the sale, Champion leased the building from SMG and continued operations at the site until December 2001. In January 2002, ACO was formed and has operated at the site as a tenant from January 2002 through November 30, 2009. ACO then sold its business to Liebe of New York which has continued the same type of operations as ACO and is the current tenant at the site. Irrespective of ownership, the main facility has been primarily used since 1955 for the manufacture of print screen apparel and custom sports apparel for sports teams and retail sale.

### **Nature and Extent of Impacts**

In 2007 and 2008 a Sub-slab Soil Investigation (SSI) was performed to determine if remedial activities had achieved remedial goals. Findings indicated that remedial activities had reduced VOC concentrations in saturated soils beneath known source areas to levels that met and/or closely approximated unrestricted use and protection of groundwater Part 375 Soil Clean up Objectives (SCOs). The SSI also indicated that VOC concentrations in groundwater were still slightly above applicable NYSDEC groundwater standards and that natural attenuation was occurring.

### **Remedial History**

Remedial activities were conducted and/or are ongoing in accordance with the Final Remediation Work Plan (February 11, 2000), Remedial Work Plan for Soil Vapor Remediation (April 2011) and SMP (March 2013). Activities include:

- Excavation of the former screen wash vault and soil exceeding SCOs (1999);
- Excavation of soil exceeding SCOs in the Former Empty Drum Storage Area (2000);
- Installation and operation of a DPVE system (2000 to 2007);

- Installation (2011) and ongoing operation of a sub slab depressurization system in three areas of the building interior;
- Execution and recording of a Declaration of Covenants and Deed Restrictions (2013);
- The use of cover systems to limit exposure to remaining VOC impacts (ongoing);
- Development and implementation of a Site Management Plan (2013); and
- Removal of piping associated with the former DPVE system (June 2015).

Operation of the SSDS is ongoing and there have been no changes to the EC since installation and start up occurred in 2011.

### **3.0 REMEDY EVALUATION**

ECs and ICs were evaluated during the noted reporting period to determine if they were effective and remained protective of public health and the environment. The evaluation determined that:

- The SSDS was operating within specifications and was performing in accordance with operational requirements by maintaining the required negative pressure beneath the three interior remedial areas.
- The soil cover system was in good condition in the former drum storage area and did not require maintenance.
- Floor slabs (cover systems) in the area of the SVI mitigation system remained intact and in good condition. Maintenance was not required and no cracking was noted.
- All ECs were working as intended and continue to be effective.
- All ECs are being operated and maintained as specified in the SMP.
- Site usage for the main building was the same as previously reported and facility personnel indicated that there were no changes to site operations.
- A garage used for daily parking of busses currently operates in a paved parking area located in the northeast corner of the site (Figure 1). No issues as a result of these operations were reported.
- ICs identified in the Declaration of Covenants and Restrictions are being maintained at the site.

### **4.0 EC/IC PLAN COMPLIANCE REPORT**

A summary of each control, objective and status is detailed below. Certification documents are presented in Attachment 1.

#### **EC – Soil Cover Systems**

Exposure to remaining VOC impacts in soil/fill at the site is prevented by the use of two types of cover systems. In the former empty drum storage area, which is located outside of the south central area of the building, the soil cover system is comprised of a minimum of 6 feet of soil backfill (Figure 3). In the interior of the building, the cover system is comprised of the building's existing 4 -inch to 6-inch thick concrete floor slabs (Figure 3). The cover systems are permanent controls and the quality and integrity of these systems is verified by quarterly and annual inspections, which evaluate the integrity of the cover materials. These systems were fully in place and completely effective during the reporting period. Corrective measures are not required.

#### **EC – Sub-slab Depressurization System**

SSDSs were installed in three areas (SSDS-3, SSDS-4 and SSDS-5) at the site to address sub-slab soil vapor in areas of the site where previous indoor air and sub-slab vapor sampling indicated the presence of VOCs at concentrations in excess of the New York State Department of Health (NYSDOH) decision matrix

recommended action levels for monitoring and/or mitigation (Figure 3). The SSDS at each area consists of a series of 2 to 3 sub-slab suction points (installed in high permeability material), which are connected by 3 inch PVC piping to exterior mounted low volume blower units. Each unit vents sub-slab vapor to the outdoor air. Vacuum at each suction point is measured by liquid filled U-tube manometers, which are installed on riser piping. The objective of the SSDS in each area is to create a vacuum field of at least 0.004" water column under the slab across each area to mitigate vapor intrusion. Each SSDS is designed to operate independently and continuously. Operation of the systems are verified by quarterly and annual inspections, which monitor the vacuum field and blower operations. These systems were fully in place and completely effective during the reporting period. Corrective measures are not required.

### **ICs**

The site has a series of ICs in the form of site restrictions. Adherence to the ICs is required by the Declaration of Covenants and Restrictions. Restrictions that apply to the Controlled Property (property) are:

- Implement, maintain and monitor EC systems.
- Prevent future exposure to remaining VOC impacts by controlling disturbances of the impacted subsurface media.
- Limit the use and development of the site to commercial or industrial type usages.
- Prohibit use of the groundwater underlying the property without treatment rendering it safe for drinking water or industrial purposes,
- Comply with the site restrictions in the Declaration of Covenants and Restrictions.

Compliance with the ICs is evaluated during quarterly and annual inspections. The ICs were fully in place and effective during the reporting period. Corrective measures are not required.

### **Permits**

Per Box #1, Question #4 of the certification documents, two building permits were issued for the property between August 2016 and present. Copies of these permits were obtained from the Wyoming County and included with the certification documents. Information within the permits indicates the permits were issued for the eastern building space, shown as the "Non-Site Area" on Figure 3. The changes documented in the permits for the eastern building space did not have any affect or impact on the EC/ICs described in this report.

### **5.0 OPERATIONS & MAINTENANCE PLAN COMPLIANCE REPORT**

The operation and maintenance (O&M) requirements of the SSDS systems include quarterly inspections and/or, if needed, more frequent checks to verify the individual systems are operational. Each SSDS is designed to run constantly, operator free with very little maintenance. Upon balancing flow after initial start-up, only minor adjustments to flow at the various suction points, if any, are required to maintain proper vacuum. Inspection documentation is provided in Attachment 2.

During the reporting period there were minimal flow adjustments required to achieve a balanced vapor gradient. The SSDS is operating as designed and per expectations. System modifications are not recommended at this time.

### **6.0 CONCLUSIONS AND RECOMMENDATIONS**

During the reporting period all requirements of the SMP were met. The ECs were effective in controlling exposure during use of the site, ensuring protection of public health and the environment. Over the reporting period, the SSDS performed within its design specifications and achieved remedial objectives. The cover

systems remained intact and was effective in limiting exposure over the reporting period. ICs placed on the site have remained unchanged and nothing has occurred onsite that impairs the ability of the controls to protect human health or the environment over the reporting period. ECs and ICs are completely effective; therefore Antea Group does not recommend any changes to the SMP.

If you have any questions regarding this submittal, please feel free to contact me by phone at (315) 552-9836 or by email ([Bryan.Reles@anteagroup.com](mailto:Bryan.Reles@anteagroup.com)).

Sincerely,



Bryan Reles  
Project Manager  
Antea Group

CC: Chris Fox – Hanesbrands, Inc.



**Description of Institutional Controls**

Parcel

Owner

Institutional Control

88.20-3-16.1

American Classic Outfitters

Ground Water Use Restriction  
Building Use Restriction  
O&M Plan

Soil Management Plan  
Site Management Plan  
IC/EC Plan

Deed Restriction including:

- Prohibition of groundwater use without treatment
- Restriction of Use to Commercial or Industrial use (which Commercial or Industrial use shall not include childcare/day care facilities, hospitals, residential health care facilities, vegetable gardens, and farming.
- Adherence to approved Site Management Plan (SMP) which includes a IC/EC Plan, O & M Pan and a Soil Management Plan.
- Periodic Review Reporting

**Description of Engineering Controls**

Parcel

Engineering Control

88.20-3-16.1

Vapor Mitigation

Soil Vapor Mitigation System

**Periodic Review Report (PRR) Certification Statements**

1. I certify by checking "YES" below that:

a) the Periodic Review report and all attachments were prepared under the direction of, and reviewed by, the party making the certification;

b) to the best of my knowledge and belief, the work and conclusions described in this certification are in accordance with the requirements of the site remedial program, and generally accepted engineering practices; and the information presented is accurate and complete.

YES NO  
X

2. If this site has an IC/EC Plan (or equivalent as required in the Decision Document), for each Institutional or Engineering control listed in Boxes 3 and/or 4, I certify by checking "YES" below that all of the following statements are true:

(a) the Institutional Control and/or Engineering Control(s) employed at this site is unchanged since the date that the Control was put in-place, or was last approved by the Department;

(b) nothing has occurred that would impair the ability of such Control, to protect public health and the environment;

(c) access to the site will continue to be provided to the Department, to evaluate the remedy, including access to evaluate the continued maintenance of this Control;

(d) nothing has occurred that would constitute a violation or failure to comply with the Site Management Plan for this Control; and

(e) if a financial assurance mechanism is required by the oversight document for the site, the mechanism remains valid and sufficient for its intended purpose established in the document.

YES NO  
X

**IF THE ANSWER TO QUESTION 2 IS NO, sign and date below and DO NOT COMPLETE THE REST OF THIS FORM. Otherwise continue.**

**A Corrective Measures Work Plan must be submitted along with this form to address these issues.**

\_\_\_\_\_  
Signature of Owner, Remedial Party or Designated Representative

\_\_\_\_\_  
Date

IC CERTIFICATIONS  
SITE NO. V00189

Box 6

**SITE OWNER OR DESIGNATED REPRESENTATIVE SIGNATURE**

I certify that all information and statements in Boxes 1,2, and 3 are true. I understand that a false statement made herein is punishable as a Class "A" misdemeanor, pursuant to Section 210.45 of the Penal Law.

I Caron Koll <sup>LSP (Massachusetts)  
PG (Pennsylvania &  
New Hampshire)</sup> at 5788 Widewaters Parkway, 2nd Floor (Antea Group),  
Syracuse, NY 13124,  
print name print business address

am certifying as Remedial Party (Owner or Remedial Party)

for the Site named in the Site Details Section of this form.

Caron Koll  
Signature of Owner, Remedial Party, or Designated Representative  
Rendering Certification

September 5, 2017  
Date

IC/EC CERTIFICATIONS

Box 7

Qualified Environmental Professional Signature

I certify that all information in Boxes 4 and 5 are true. I understand that a false statement made herein is punishable as a Class "A" misdemeanor, pursuant to Section 210.45 of the Penal Law.

I Caron Koll LSP (Massachusetts) PG (Pennsylvania & New Hampshire) at 5788 Widewaters Parkway, 2nd Floor (Antea Group), Syracuse, NY 13124,  
print name print business address

am certifying as a Qualified Environmental Professional for the Remedial Party  
(Owner or Remedial Party)

Caron Koll  
Signature of Qualified Environmental Professional, for  
the Owner or Remedial Party, Rendering Certification

Stamp  
(Required for PE)

September 5, 2017  
Date

**ATTACHMENT 1**

**CERTIFICATIONS**

Wyoming County Building Department  
36 Center Street, Suite C  
Warsaw, NY 14569

Phone #: 786-8820  
Fax #: 786-6020  
e-mail - droberts@wyomingco.net

Donald J. Roberts - Code Enforcement Officer

## Certificate of Compliance / Occupancy

Wednesday, November 02, 2016

This Certificate is issued for building permit #: **16-564** issued on: 27-Sep-16  
that was issued to: Perry Commerce Center (Once Again Nut Butter)  
and is located at: 200 N Main St In the municipality of: V-Perry  
which was issued for the construction of: Roof over existing entrance

### Description of work performed:

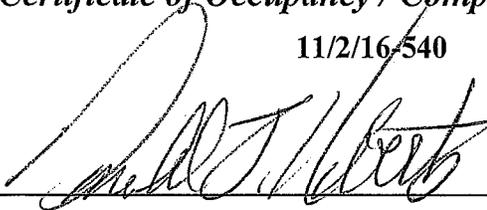
Square' of Building:	#Stories
#Bedrooms	Foundation Type
#Units	Conditioned Sq'

*Certifies the project noted herein has been completed in accordance with all approved plans and specifications for which the permit was issued. Final inspections and or testing have been performed and the building project appears to conform substantially with all applicable requirements set forth by The New York State Uniform Fire Prevention and Building Code and the Energy Conservation construction Code of New York State.*

*This is not to be deemed a certification of property lines and becomes null and void if changes occur after the date of issuance.*

Certificate of Occupancy / Compliance

11/2/16-540

Building Official: 

Issued contingent of:

#16-564

Building Dept. Use Only
Approved <u>[Signature]</u>
Denied
CEO Initials <u>[Signature]</u>

**Building Permit Application**  
**Wyoming County Building Department**  
 Wyoming County Government Center  
 143 N. Main St.  
 Warsaw, NY 14569  
 ph(585) 786-8820  
 fax(585) 786-6020  
 e-mail - droberts@wyomingco.net

Estimated Cost <u>\$2200</u>
Fee to be paid upon filling this application <u>50</u>
<u>pd Cash</u>

Date: 9/27/16

Tax Parcel# \_\_\_\_\_

**Instructions:**

1. This application must be completely filled in by typewriter or ink and submitted in duplicate to the Building Department.
2. A plot plan showing location of lot and of buildings on premises, relationship to adjoining premises or public streets or areas, and giving a detailed description of layout of property must be submitted with this application.
3. This application must be accompanied by two sets of construction drawings showing proposed construction along with two sets of specifications. Plans and specifications shall describe the nature of work to be performed, the materials and equipment to be used and installed and details of structural, mechanical, electrical, heating and plumbing installations.
4. The work covered in this application shall not commence prior to issuance of Building Permit.
5. Upon approval, the Building Department shall issue a building permit to the applicant, with approved duplicate set of plans and specifications. Such permit and specifications shall be kept on premises available for inspection throughout the work progress.
6. No building shall be occupied or used in whole or in part for any purpose, until a certificate of occupancy has been issued for such use by the Building Department.
7. Upon permit issuance, all work is to be completed within 12 months or a permit renewal must be obtained.

**Application is hereby made to the Building Department** for the issuance of a Building Permit pursuant to The New York State Uniform Fire Prevention and Building Code for the construction of buildings, additions, alterations, or for removal or demolition, as herein described. The applicant agrees to comply with all applicable laws, ordinances and regulations.

Project Location: Perry Commerce Center Municipality: Village of Perry  
 Owners Name: Perry Commerce Center Phone# (585) 739-5230 (411)  
 Owners Address: 200 North Main Street Perry, New York <sup>Adams build</sup>  
 State whether applicant is owner, lessee, agent architect, engineer or builder: Lessee  
 Applicants Name: Once Again Nut Butter (Ed Soback) Phone# (585) 468-2535  
 Applicants Address: 12 South State Street Nunda, New York 14517

1. Project Description: Roof/shelter over existing entrance
2. Is the project located within a floodplain: Yes \_\_\_ No X
3. Is this a change of use and or occupancy (check): Yes \_\_\_ No X
4. Nature of work (check): New Structure \_\_\_ Addition \_\_\_ Alteration \_\_\_ Repair \_\_\_ Removal \_\_\_ Demo \_\_\_  
 Pool \_\_\_ Solid Fuel X Other (give description) Roof/shelter over steps for employee entrance
5. Dimensions of new structure: Front \_\_\_ Rear \_\_\_ Depth \_\_\_ Height \_\_\_ Number of Stories \_\_\_
6. Dimensions of Addition: Front 4' Rear \_\_\_ Depth 6' Height 8' Number of Stories \_\_\_
7. If Alterations, state nature of work: \_\_\_\_\_
8. Name of Contractor: Hark Homes Phone# (585) 476-2422
9. Name of Design Professional: \_\_\_\_\_ Phone# \_\_\_\_\_

**Applicants Signature:** [Signature] (Once Again Nut Butter) (S) He is the owner, agent or contractor of said owner or owners, and is duly authorized to perform or have performed the said work and to make and file this application; that all statements contained herein are true to the best of his or her knowledge and belief, and that the work will be performed in the manor set forth in the application and in the plans and specification filled herewith. Permission is granted to the Wyoming County Building Department to enter upon premises to conduct all necessary inspections.

# Inspection Schedule- Commercial buildings

Name Perry Commerce Center  
Location 200 N Main St. U-Perry  
Date 9/27/16 Permit # 16-564

- A reasonable means of ingress must be provided to each structure and floor level.
- All required inspections must be called in 24 hours in advance by the owner or the contractor.
- The following inspections are **mandatory**:
  1. Footer – when the excavation is complete, forms are in place and ready for pouring concrete **but before** any concrete is poured.
    - a. Poured foundation walls – when forms and reinforcements are in place but **before** any concrete is poured.
    - b. Pole type construction – after holes are dug but **before** any poles are set or sona tubes in place but before concrete is poured.
    - c. Concrete pads – when excavation is complete, soil is compacted, forms and reinforcement in place but **before** any concrete is poured.
  2. Final Wall – when wall is complete, parge coat and waterproofing applied, 6" of #2 stone applied over the 4" drain tile and insulation if required but **before** any back filling.
  3. Underslab – when all supplies, drains (both prep for testing), heat runs, insulation, reinforcements and vapor barriers are in place but **before** any concrete is poured.
  4. Rough Framing – after all rough plumbing (prep for testing), framing, HVAC completed and the rough electric inspected by an approved inspection agency but **before** any insulation installed.
  5. Pre-lath – after insulation installed but **before** any dry wall, plaster or other wall coverings are applied.
  6. Final - all construction must be completed as per the approved plans and specifications, favorable reports received from all applicable agencies involved with the project, all testing completed and reports received.

 Certificate of Occupancy must be issued before any building or part thereof is occupied.

 I (please print) Edward Soback agree upon applying for a permit that I will call 24hrs in advance for each inspection required noted at: **585-786-8820**. I understand that, failure to call for the required inspections could result in a "Stop Work Order" being issued, a \$100.00 fee imposed for each missed inspection along with assuming any additional expenses to show code compliance. A \$50.00 fee will be imposed for scheduling an inspection and access to perform such inspection cannot be made.

 Signature Edward Soback Date 9/27/16

Wyoming County Building Department  
143 North Main St, Warsaw, NY 14569  
Telephone (585)786-8820 Fax (585)786-6020

**Intake Sheet Items Needed For All Building Permits**

LName/Permit# Perry Commerce Center → Job Information

One & Two Family Home  
 Manufactured Home – Year & Model \_\_\_\_\_  
 Additions, Alterations, Renovations  
 Deck, Storage Bldg, Pole Barn, Shed  
 Swimming Pool – Size & Model \_\_\_\_\_  
 Commercial → Project Type

Application  
 Fee Paid, Check payable to: Wyoming County Treasurer or cash  
 Zoning permit issued by the Municipality per project location  
 Septic permit issued by the Wyoming County Health Dept.(if private)  
 Well permit issued by the Wyoming County Health Dept.(if private)  
 Property address/Drive-way permit issued by the Wyoming Co. Highway Dept.  
 Inspection Schedule Signed  
 Plans–2 Sets, (If over 1500 sq', NYS architect or engineer must seal the drawings)  
 Pre-cast foundations (NYS sealed foundation plans and an approved soil test)  
Heat Type/Fuel Type \_\_\_\_\_  
Energy Certificate completed → Check List Items

Final septic approval issued by the Wyoming County Health Department  
 Final well completion and favorable water test completed by the Wyoming County Health Department  
 Final electrical certificate issued by the approved third party inspection agency.  
 NYS sealed truss certificate drawings providing all required loads noted on the drawings in compliance with NYS Code requirements.  
 All required construction inspections completed by the Wyoming County Building Department or an approved agency for the purpose of performing any "special inspections" as required by the Building Official.  
 Soil test report reflecting soil classification and soil bearing capacity. → Reports due prior to certificates issued

Contractors Name and proper Insurance Certificates  
 BP-1 signed (required if no contractor involved) → Insurance Requirements



I have read the above requirements and understand that all specific reports required by the work I'm performing, must be submitted prior to obtaining any Certificates from the Wyoming County Building Department and that NO OCCUPANCY may take place in any part thereof until such Certificates are obtained.

→ Signature Edward Dotter Date 9/27/16

# Building Permit

This permit must be displayed and kept on the premises with one set of approved plans and specifications until full completion of the work is authorized.

NOTE: Inspections lists are posted on the reverse of the permit card and must be signed off by the Building Official before continuing any work. Failure to obtain signature may result in a STOP WORK ORDER being issued and further legal action taken.

Permit#	16-564	permit date	27-Sep-16
		Renewal Date	26-Sep-17

## Permission is hereby granted to:

First name	Last Name
Perry Commerce Center	(Once Again Nut Butter)

To Construct: Roof over existing entrance

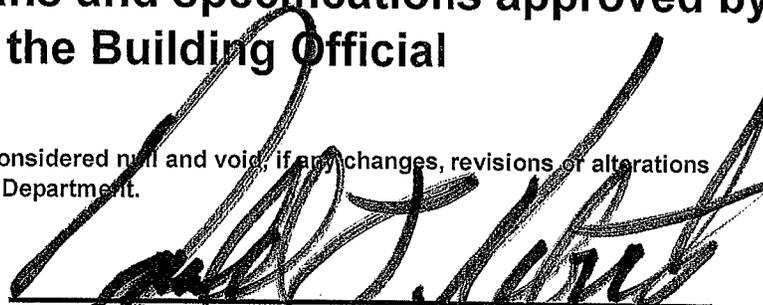
Square' of building:	# of units:
Foundation type:	Conditioned square':
Number of bedrooms:	Number of stories:

At premises located: 200 N Main St

In the Municipality of: V-Perry

Pursuant to plans and specifications approved by  
the Building Official

All approved plans will be considered null and void, if any changes, revisions or alterations occur prior to notifying this Department.



Building Official

# ZONING PERMIT

This Permit Must Be Presented to the Wyoming County  
Building Department to Obtain a Building Permit and/or Posted on  
Premises until Certified Completion of the Work Authorized

No. 47-2016

Date 9-20-16

Permission is hereby granted to:

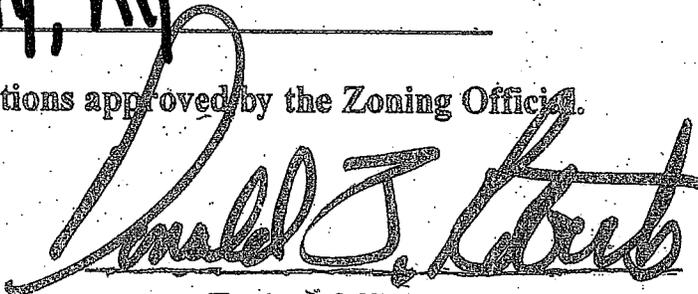
Once Again Nut Butter

For: Entrance way

Premises located at: 200 N Main St  
Perry, NY

Pursuant to plans and specifications approved by the Zoning Official.

9-2017  
Expiration Date

  
Zoning Official

Zoning Dept. Use Only  
 Approved   
 Denied \_\_\_\_\_  
 ZEO Initials [Signature]

# Zoning Permit Application

Village Perry

46 North Main St.  
 Perry, NY 14530  
 ph(585) 237-2216  
 fax(585) 237-5975

www.villageofperry.com

Fee to be paid upon filing  
 this application 10 47-201  
 Date Paid \_\_\_\_\_  
 Check \_\_\_\_\_ Cash \_\_\_\_\_

Edward Soback  
 447-8488

Office  
 2535 Evans

**Instructions:**

1. This application must be completely filled in by typewriter or ink and submitted in duplicate to the Village Zoning Clerk.
2. A plot plan showing location of lot and of buildings on premises, relationship to adjoining premises or public streets or areas, and giving a detailed description of layout of property must be submitted with this application.
3. The work covered in this application shall not commence prior to issuance of a Building Permit.
4. Upon approval, the Zoning Officer shall issue a Zoning permit to the applicant. Such permit and specifications shall be kept on premises available for inspection throughout the work progress.
5. No building shall be occupied or used in whole or in part for any purpose, until a certificate of occupancy has been issued for such use by the Building Department.
6. Upon permit issuance, all work is to be completed within 12 months or a permit renewal must be obtained.

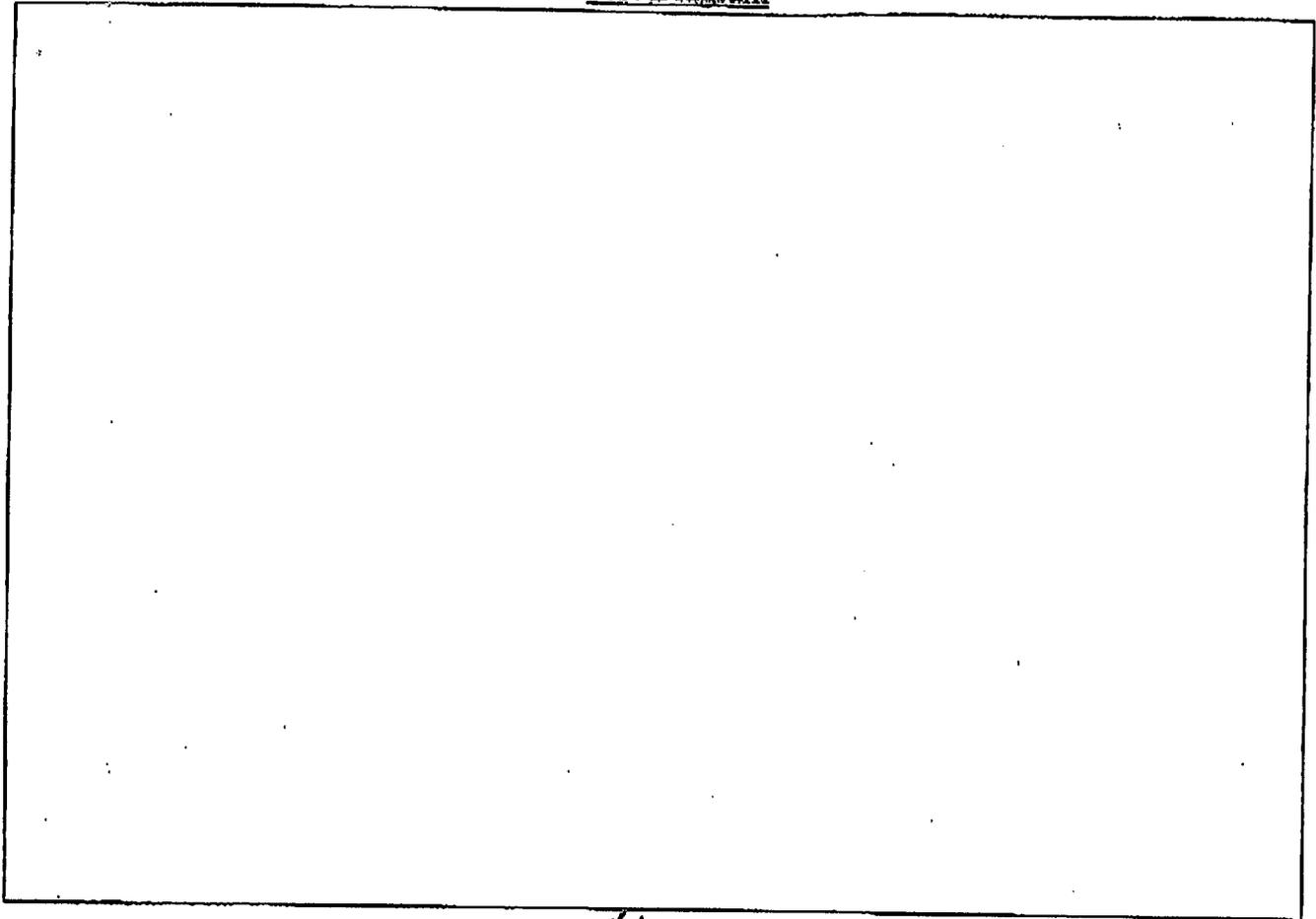
Application is hereby made to the Zoning Department for the issuance of a Zoning Permit pursuant to The Village Zoning Law and the New York State Uniform Fire Prevention and Building Code for the construction of buildings, additions, alterations, or for removal, or demolition, as herein described. The applicant agrees to comply with all applicable laws, ordinances and regulations.

Project Location: Perry Commerce Center Tax Parcel# \_\_\_\_\_  
 Applicant Name: Once Again Max Butler Applicant Address: 12 South State Street Nunda, NY  
 State whether applicant is owner, lessee, agent architect, engineer or builder: Lessee  
 Owners Name: Perry Commerce Center Owners Address: 200 North Main Str. Perry, NY  
 Phone# \_\_\_\_\_ Cell# \_\_\_\_\_

1. Project Description: Roof/Shelter over employee entrance steps
2. Is this project located within a flood plain? (check): Yes \_\_\_\_\_ No X
3. Is this a change of use and or occupancy (check): Yes \_\_\_\_\_ No X
4. Nature of work (check): New Structure \_\_\_\_\_ Addition \_\_\_\_\_ Alteration \_\_\_\_\_ Repair \_\_\_\_\_ Removal \_\_\_\_\_ Demo \_\_\_\_\_  
 Pool \_\_\_\_\_ Solid Fuel \_\_\_\_\_ X Other (give description) Roof/Canopy over steps for employee entrance
5. Dimensions of new structure: Front \_\_\_\_\_ Rear \_\_\_\_\_ Depth \_\_\_\_\_ Height \_\_\_\_\_ Number of Stories \_\_\_\_\_
6. Dimensions of Addition: Front 4' Rear \_\_\_\_\_ Depth 6' Height 8' Number of Stories \_\_\_\_\_
7. If Alterations, state nature of work: \_\_\_\_\_
8. Name of Contractor: Mark Homes Phone# (585) 476-2422
9. Name of Design Professional: \_\_\_\_\_ Phone# \_\_\_\_\_
10. Zoning District in which the work will take place: \_\_\_\_\_
11. Estimated cost of the project: \$2,200.00
12. On the plot diagram provided on page 2, or an attachment, provide location of the street or road, all buildings existing and proposed, dimensions from lot lines and streets or roads.

Applicants Signature: [Signature] (S) He is the owner, agent or contractor of said owner or owners, and is duly authorized to perform or have performed the said work and to make and file this application; that all statements contained herein are true to the best of his or her knowledge and belief, and that the work will be performed in the manor set forth in the application and in the plans and specification filled herewith.  
All Zoning Permit approvals must be taken to the Wyoming County Building Department to obtain a building permit prior to any work starting.

Plot Diagram



Street Name: North Main Street

This Permit # 47-2016 is hereby  Approved,  Disapproved  
Issued for: Entrance Way with the following  
stipulations: need Wyoming County Building permit

Zoning Enforcement Officer: [Signature]

Date of approval: 9-20-16 (or) Date of denial: \_\_\_\_\_

Reason for denial (check):  Needs Area Variance,  Needs Use Variance,  
 Needs Special Use Permit

<b>Special Use Permit</b>	
Date: _____	Fee: _____
Approved by: <u>Planning Board</u>	
Votes: Yes _____	No _____
_____ Chairman of Planning Board	

<b>Zoning Variance</b>	
Date: _____	Fee: _____
Approved by: <u>Zoning Board of Appeals</u>	
Votes: Yes _____	No _____
_____ Chairman of Zoning Board of Appeals	

Wyoming County Building Department  
36 Center St., Suite C  
Warsaw, NY 14569

Phone #: 585-786-8820  
Fax #: 585-786-6020  
e-mail - droberts@wyomingco.net

Donald J. Roberts - Code Enforcement Officer

# Official Receipt

Tuesday, September 27, 2016

Cost   
Pay Method   
Check#   
Permit#

Date Collected:

Receipt #

Collected in payment for:

address:  city:

state:  zip code:  municipality:

for:

Collected For:

Other Payee: \_\_\_\_\_

*As per Wyoming County Local Law #1 of 2007, all permits expire 12 months from issuance date and are subject to renewal fees as set forth by the current adopted fee schedule. All Temporary occupancy permits expire 6 months from issuance date and are subject to the same.*

Wyoming County Building Department

36 Center Street, Suite C

Warsaw, NY 14569

Donald J. Roberts - Code Enforcement Officer

Phone #: 786-8820

Fax #: 786-6020

e-mail - droberts@wyomingco.net

## Certificate of Compliance / Occupancy

Friday, July 07, 2017

This Certificate is issued for building permit # : 17-220 issued on: 19-May-17

that was issued to: Once Again Nut Butter

and is located at: 200 North Main St In the municipality of: V-Perry

which was issued for the construction of: Move interior office and install racking

### Description of work performed:

Square' of Building: 120

#Stories --

#Bedrooms --

Foundation Type

#Units 1

Conditioned Sq' --

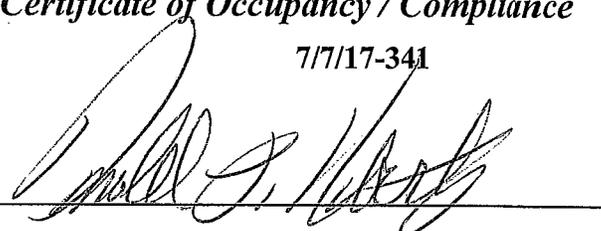
*Certifies the project noted herein has been completed in accordance with all approved plans and specifications for which the permit was issued. Final inspections and or testing have been performed and the building project appears to conform substantially with all applicable requirements set forth by The New York State Uniform Fire Prevention and Building Code and the Energy Conservation construction Code of New York State.*

*This is not to be deemed a certification of property lines and becomes null and void if changes occur after the date of issuance.*

### Certificate of Occupancy / Compliance

7/7/17-341

Building Official:



Issued contingent of:

# Building Permit

This permit must be displayed and kept on the premises with one set of approved plans and specifications until full completion of the work is authorized.

NOTE: Inspections lists are posted on the reverse of the permit card and must be signed off by the Building Official before continuing any work. Failure to obtain signature may result in a STOP WORK ORDER being issued and further legal action taken.

Permit#	17-220	permit date	19-May-17
		Renewal Date	18-May-18

Permission is hereby granted to:

First name	Last Name
Once Again Nut Butter	

To Construct: Move interior office and install racking

Square' of building: 120

# of units: 1

Foundation type:

Conditioned square': --

Number of bedrooms: --

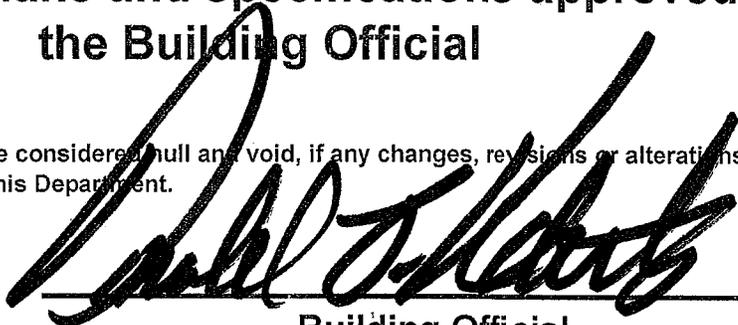
Number of stories: --

At premises located: 200 North Main St

In the Municipality of: V-Perry

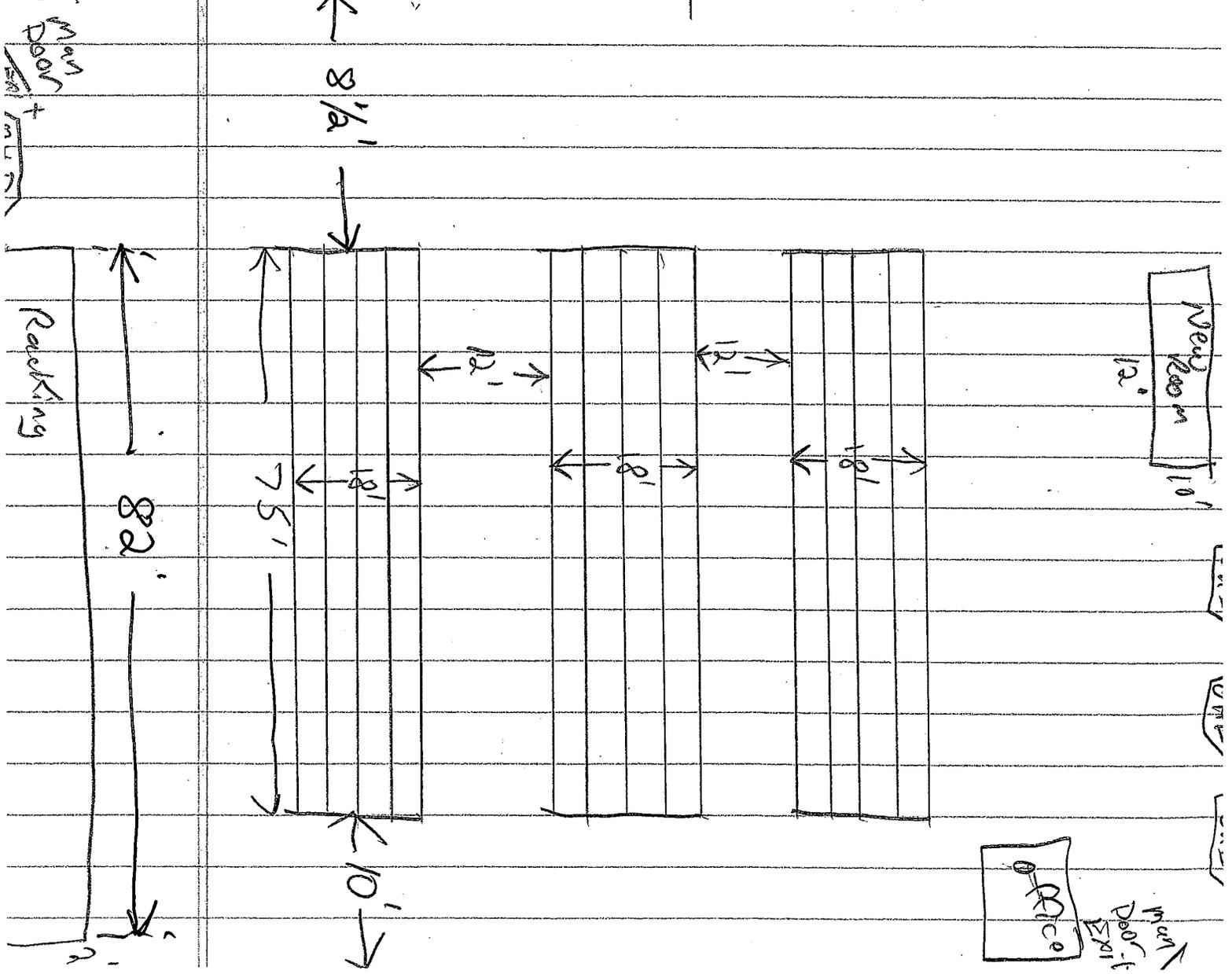
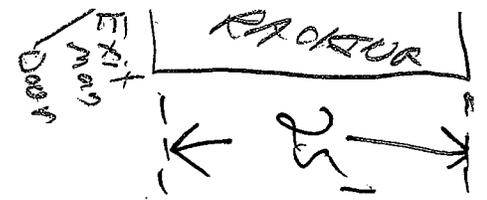
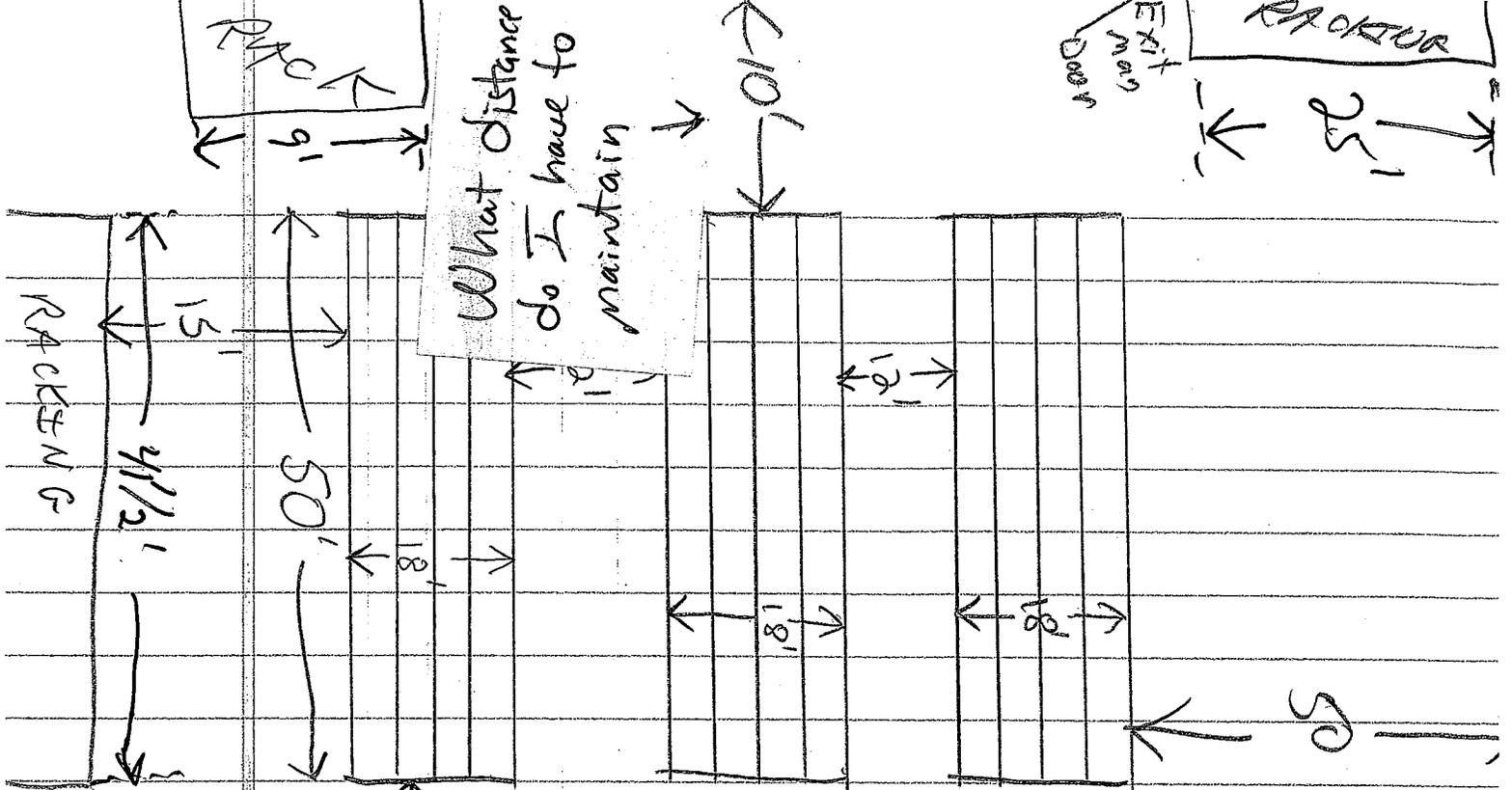
Pursuant to plans and specifications approved by  
the Building Official

All approved plans will be considered null and void, if any changes, revisions or alterations occur prior to notifying this Department.

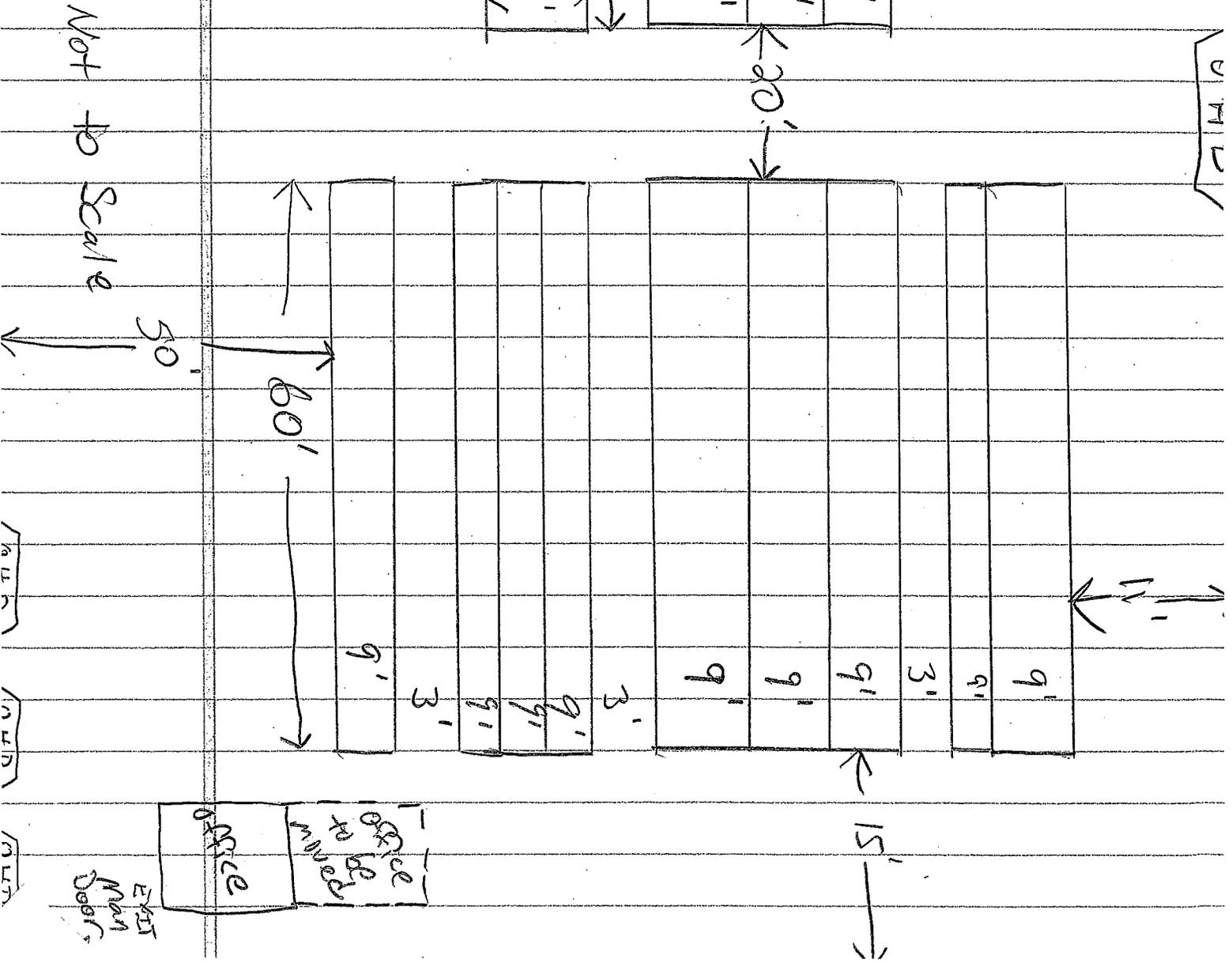
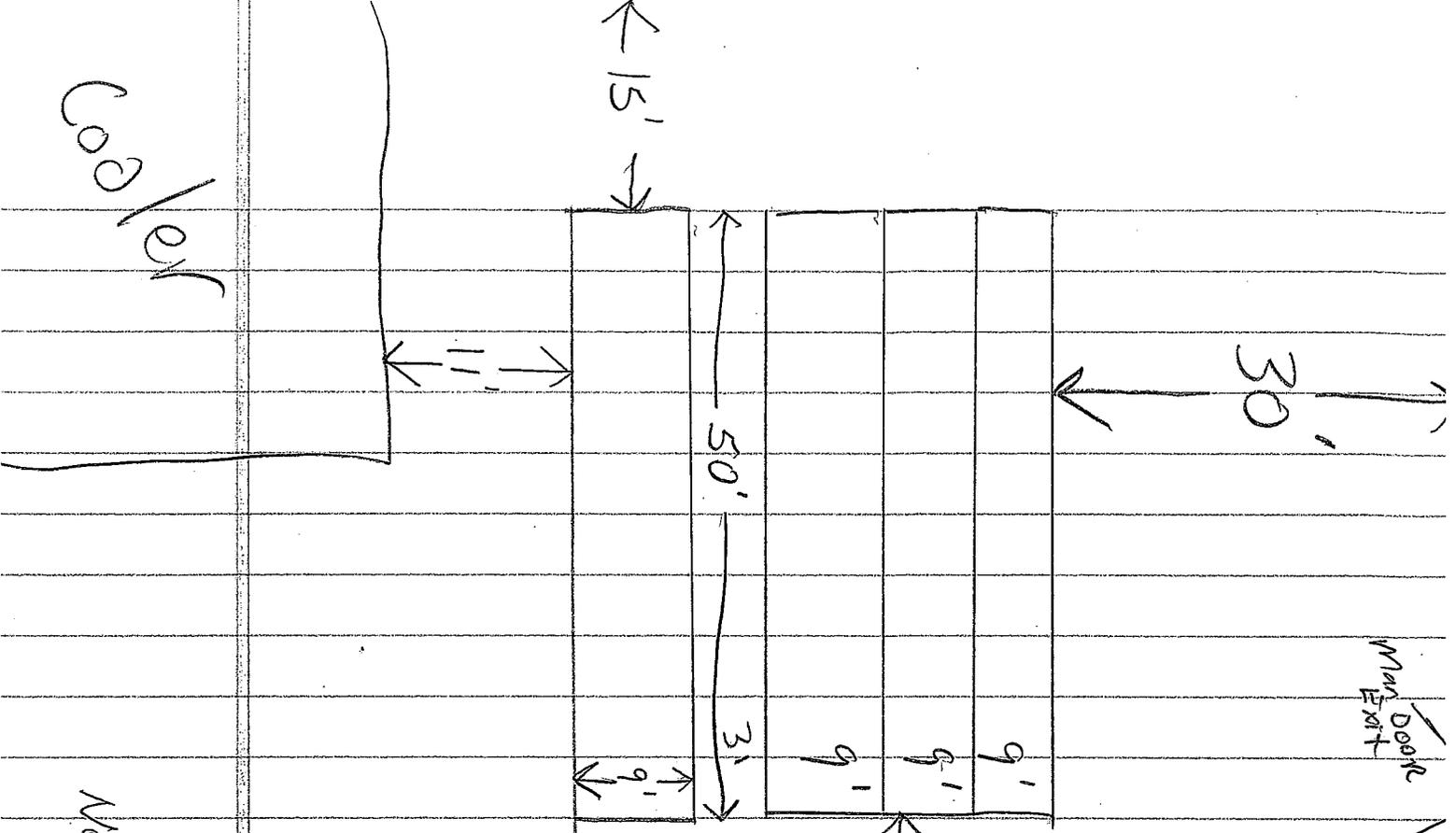


Building Official





Cooper



Wyoming County Building Department  
36 Center St., Suite C  
Warsaw, NY 14569

Phone #: 585-786-8820  
Fax #: 585-786-6020  
e-mail - droberts@wyomingco.net

Donald J. Roberts - Code Enforcement Officer

# Official Receipt

Friday, May 19, 2017

Cost	\$75.00
Pay Method	Check
Check#	23955
Permit#	17-220

Date Collected: 5/19/2017 Receipt # 6246

Collected in payment for: Once Again Nut Butter

address: 12 South State St, PO Box 429 city: Nunda

state: NY zip code: 14517-0429 municipality: V-Perry

for: Move interior office and install racking

Collected For: Building Permit

Other Payee: \_\_\_\_\_

*As per Wyoming County Local Law #1 of 2007, all permits expire 12 months from issuance date and are subject to renewal fees as set forth by the current adopted fee schedule. All Temporary occupancy permits expire 6 months from issuance date and are subject to the same.*

17-220

Building Dept. Use Only
Approved <u>X</u>
Denied _____
CEO Initials <u>DJR</u>

# Building Permit Application

## Wyoming County Building Department

Wyoming County Government Center  
143 N. Main St.  
Warsaw, NY 14569  
ph(585) 786-8820  
fax(585) 786-6020  
e-mail - droberts@wyomingco.net

Estimated Cost <u>25,000</u>
Fee to be paid upon filling this application <u>75-</u>
<u>Permit # 23955</u> <u>5/19/17</u>

Date: 5-17-17

Tax Parcel# \_\_\_\_\_

**Instructions:**

- This application must be completely filled in by typewriter or ink and submitted in duplicate to the Building Department.
  - A plot plan showing location of lot and of buildings on premises, relationship to adjoining premises or public streets or areas, and giving a detailed description of layout of property must be submitted with this application.
- Once Again Nut Butter Collective, Inc. shall describe the nature of work to be performed, the materials and equipment to be mechanical, electrical, heating and plumbing installations. shall not commence prior to issuance of Building Permit. shall issue a building permit to the applicant, with approved duplicate set of plans and drawings shall be kept on premises available for inspection throughout the work progress. shall not be used in whole or in part for any purpose, until a certificate of occupancy has been issued for the building. shall be completed within 12 months or a permit renewal must be obtained.

ATTN: EDWARD SOBACZ



MAILING ADDRESS TO

12 S. State St., P.O. Box 429  
Nunda, NY 14517-0429

**Application is hereby made to the Building Department** for the issuance of a Building Permit pursuant to The New York State Uniform Fire Prevention and Building Code for the construction of buildings, additions, alterations, or for removal or demolition, as herein described. The applicant agrees to comply with all applicable laws, ordinances and regulations.

Project Location: 200 N. MAIN ST Perry Commerce Center Municipality: Village of Perry  
 Owners Name: SMG Properties Phone# \_\_\_\_\_  
 Owners Address: 200 North Main Street Perry, New York  
 State whether applicant is owner, lessee, agent architect, engineer or builder: New York  
 Applicants Name: Once Again Nut Butter Phone# (585) 468-2535  
 Applicants Address: 200 North Main Street Perry, New York  
12 South State Street Nunda, New York

- Project Description: Installation of portable structure, Moving of a portable structure
- Is the project located within a floodplain: Yes \_\_\_\_\_ No X
- Is this a change of use and or occupancy (check): Yes \_\_\_\_\_ No \_\_\_\_\_
- Nature of work (check): New Structure X Addition \_\_\_\_\_ Alteration X Repair \_\_\_\_\_ Removal \_\_\_\_\_ Demo \_\_\_\_\_  
Pool \_\_\_\_\_ Solid Fuel \_\_\_\_\_ Other (give description) \_\_\_\_\_
- Dimensions of new structure: Front 10' Rear 10' Depth 12' Height 8' Number of Stories 1
- Dimensions of Addition: Front 8' Rear 8' Depth 10' Height 8' Number of Stories 1
- If Alterations, state nature of work: Moving of portable structure from area to another
- Name of Contractor: CAST Industries Phone# (585) 436-9660
- Name of Design Professional: CAST Industries Phone# (585) 436-9660  
Chris Surca

**Applicants Signature:** [Signature] (S) He is the owner, agent or contractor of said owner or owners, and is duly authorized to perform or have performed the said work and to make and file this application; that all statements contained herein are true to the best of his or her knowledge and belief, and that the work will be performed in the manor set forth in the application and in the plans and specification filled herewith. Permission is granted to the Wyoming County Building Department to enter upon premises to conduct all necessary inspections.

\* More office space  
& parking

**ONCE AGAIN NUT BUTTER COLLECTIVE, INC.**

23955

Date	Invoice Number	Comment	Amount	Discount Amount	Net Amount
5/16/2017	PERRY5/17	BUILDING PERMIT PERRY 200 N. MAIN STREET	75.00	0.00	75.00

5-17-17 Permit Check for Bldg Permit - AlPacheco / APB: [Signature]  
Check: 023955 5/16/2017 WYOMING COUNTY TREASURER

Check Total: 75.00

17-220

**Intake Sheet Items Needed For All Building Permits**

LName/Permit# SMG Properties - ONCE AGAIN NUT BUTTER → Job Information

EDWARD SOBIECH - Cell# 585-447-8488  
work 585 468-2535 ext 33

One & Two Family Home  
 Manufactured Home - Year & Model \_\_\_\_\_  
 Additions, Alterations, Renovations \_\_\_\_\_  
 Deck, Storage Bldg, Pole Barn, Shed \_\_\_\_\_  
 Swimming Pool - Size & Model \_\_\_\_\_  
 Commercial - BUILD PORTABLE STRUCTURES WITHIN WAREHOUSE / ALARM & SPRINKLERS WILL BE UPDATED

→ Project Type

Application  
 Fee Paid, Check payable to: Wyoming County Treasurer or cash #78 23955  
 Zoning permit issued by the Municipality per project location  
 Septic permit issued by the Wyoming County Health Dept.(if private) 5/19/17  
 Well permit issued by the Wyoming County Health Dept.(if private)  
 Property address/Drive-way permit issued by the Wyoming Co. Highway Dept.  
 Inspection Schedule Signed  
 Plans-2 Sets, (If over 1500 sq', NYS architect or engineer must seal the drawings)  
 Pre-cast foundations (NYS sealed foundation plans and an approved soil test)  
 Heat Type/Fuel Type \_\_\_\_\_  
 Energy Certificate completed

→ Check List Items

AA Final septic approval issued by the Wyoming County Health Department  
AA Final well completion and favorable water test completed by the Wyoming County Health Department  
 \_\_\_\_\_ Final electrical certificate issued by the approved third party inspection agency.  
AA NYS sealed truss certificate drawings providing all required loads noted on the drawings in compliance with NYS Code requirements.  
 \_\_\_\_\_ All required construction inspections completed by the Wyoming County Building Department or an approved agency for the purpose of performing any "special inspections" as required by the Building Official.  
AA Soil test report reflecting soil classification and soil bearing capacity.

→ Reports due prior to certificates issued

Contractors Name and proper Insurance Certificates  
 → BP-1 signed (required if no contractor involved)

→ Insurance Requirements

I have read the above requirements and understand that all specific reports required by the work I'm performing, must be submitted prior to obtaining any Certificates from the Wyoming County Building Department and that NO OCCUPANCY may take place in any part thereof until such Certificates are obtained.

→ Signature Edward Sobiech Date 5-17-17



# Inspection Schedule- Commercial buildings

Name JMG Properties - ONE-AGAIN'S NEW BLDG  
Location 200 N. MAINS ST U-Permy  
Date 5-17-17 Permit # 17-220

- A reasonable means of ingress must be provided to each structure and floor level.
- All required inspections must be called in 24 hours in advance by the owner or the contractor.
- The following inspections are **mandatory**:
  1. Footer – when the excavation is complete, forms are in place and ready for pouring concrete **but before** any concrete is poured.
    - a. Poured foundation walls – when forms and reinforcements are in place but **before** any concrete is poured.
    - b. Pole type construction – after holes are dug but **before** any poles are set or sona tubes in place but before concrete is poured.
    - c. Concrete pads – when excavation is complete, soil is compacted, forms and reinforcement in place but **before** any concrete is poured.
  2. Final Wall – when wall is complete, parge coat and waterproofing applied, 6” of #2 stone applied over the 4” drain tile and insulation if required but **before** any back filling.
  3. Underslab – when all supplies, drains (both prep for testing), heat runs, insulation, reinforcements and vapor barriers are in place but **before** any concrete is poured.
  4. Rough Framing – after all rough plumbing (prep for testing), framing, HVAC completed and the rough electric inspected by an approved inspection agency but **before** any insulation installed.
  5. Pre-lath – after insulation installed but **before** any dry wall, plaster or other wall coverings are applied.
  6. Final - all construction must be completed as per the approved plans and specifications, favorable reports received from all applicable agencies involved with the project, all testing completed and reports received.

⇒ Certificate of Occupancy must be issued before any building or part thereof is occupied.

☀ I (please print) Edward Soback O.A.N.B. agree upon applying for a permit that I will call 24hrs in advance for each inspection required noted at: **585-786-8820**. I understand that, failure to call for the required inspections could result in a “Stop Work Order” being issued, a \$100.00 fee imposed for each missed inspection along with assuming any additional expenses to show code compliance. A \$50.00 fee will be imposed for scheduling an inspection and access to perform such inspection cannot be made.

⇒ Signature Edward Soback Date 5-17-17

**ATTACHMENT 2**  
**INSPECTION REPORTS**

onsite: 9:53  
 offsite: 10:15

Quarterly System Inspection  
 Hanesbrands, Inc.  
 200 North Main Street, Perry, New York

Quarter/Date: 4Q - 10/19/2016  
 Weather: 57F Sunny  
 Personnel: Carolyn Clemmens & Bryan Reles  
(met Adam Guillo on site)

Location:	Area SS-5 / Former Remedial Area Western Building			Area SS-4 / Storage Southwest Building		Area SS-3 / Storage Southeast Building	
	A	B	C	D	E	F	G
Pipe Branch:							
Suction Pressure (" WC)	3.25	3.25	3.0	4.0	3.75	3.0	3.0
PVC Piping Intact (Y/N)	Y	Y	Y	Y	Y	Y	Y
Floor and PVC seals ok (Y/N)	Y	Y	Y	Y	Y	Y	Y
System Operating (Y/N)		yes			yes		yes
Overall Piping Run ok (Y/N)		yes			yes		yes
Blower Functioning Correctly (Y/N)		yes			yes		yes
Exterior casings intact (Y/N)		yes			yes		yes

Comments/Notes:

No major changes since 3Q inspection

**Quarterly System Inspection**  
 Hanesbrands, Inc.  
 200 North Main Street, Perry, New York

Quarter/Date: 1Q - February 02, 2017  
 Weather: 23°F, Partly sunny (snow flurries)  
 Personnel: Carolyn Clemmens (Antea) & Adam Gullo  
 on-site: 13:30  
 off-site: 13:55

↑ sticky/hard to push/pull

Location: Pipe Branch:	Area SS-5 / Former Remedial Area Western Building			Area SS-4 / Storage Southwest Building		Area SS-3 / Storage Southeast Building	
	A	B	C	D	E	F	G
Suction Pressure (" WC)	2.6	2.25	2.0	4.0	3.75	2.5	2.5
PVC Piping Intact (Y/N)	Yes	Yes	Yes	Yes	Yes	Yes	Yes
Floor and PVC seals ok (Y/N)	Yes	Yes	Yes	Yes	Yes	Yes	Yes
System Operating (Y/N)	Yes			Yes		Yes	
Overall Piping Run ok (Y/N)	Yes			Yes		Yes	
Blower Functioning Correctly (Y/N)	Yes			Yes		Yes	
Exterior casings intact (Y/N)	Yes			Yes		Yes	

Comments/Notes:

No notable changes/outages

One tenant moving out on other side of property and another tenant expanding - should not affect this side of building

No major changes in operations

Quarterly System Inspection  
 Hanesbrands, Inc.  
 200 North Main Street, Perry, New York

Quarter/Date: 2Q 2017 - May 4, 2017

Weather: 50°F, Cloudy

Personnel: Carolyn Clemmens & Katie Angel

on-site: 9:45

off-site: 10:10

Location:	Area SS-5 / Former Remedial Area Western Building			Area SS-4 / Storage Southwest Building		Area SS-3 / Storage Southeast Building	
	A	B	C	D	E	F	G
Pipe Branch:							
Suction Pressure (" WC)	2.75	2.5	2.25	3.75	3.75	3	3
PVC Piping Intact (Y/N)	Y	Y	Y	Y	Y	Y	Y
Floor and PVC seals ok (Y/N)	Y	Y	Y	Y	Y	Y	Y
System Operating (Y/N)		Y			Y		Y
Overall Piping Run ok (Y/N)		Y			Y		Y
Blower Functioning Correctly (Y/N)		Y			Y		Y
Exterior casings intact (Y/N)		Y			Y		Y

Comments/Notes:

F & G not zeroing ~~completely~~ completely - level remains at 0.25"

Old shed behind building is open.

Quarterly System Inspection  
 Hanesbrands, Inc.  
 200 North Main Street, Perry, New York

Quarter/Date: Aug 9, 2017 3Qrt.  
 Weather: Mostly Sunny, 71°F  
 Personnel: Katie Angel

Location: Pipe Branch:	Area SS-5 / Former Remedial Area Western Building			Area SS-4 / Storage Southwest Building		Area SS-3 / Storage Southeast Building	
	A	B	C	D	E	F	G
Suction Pressure (" WC)	3.50	3.25	3.25	3.75	3.75	3.50	3.50
PVC Piping Intact (Y/N)	Y	Y	Y	Y	Y	Y	Y
Floor and PVC seals ok (Y/N)	Y	Y	Y	Y	Y	Y	Y
System Operating (Y/N)		Y		Y		Y	
Overall Piping Run ok (Y/N)		Y		Y		Y	
Blower Functioning Correctly (Y/N)		Y		Y		Y	
Exterior casings intact (Y/N)		Y		Y		Y	

Comments/Notes:

Onsite @ 9:45 am      Offsite @ 10:15

F & E is sticky

G won't zero correctly @ 0.5  
F zeroing @ 0.5  
C zeroing @ 0.25

## FIGURES



300 150 0 150 300 ft  
 Scale: One inch equals approximately three hundred feet



**FIGURE 1 - SITE LOCATION MAP**  
**FORMER CHAMPION PRODUCTS FACILITY**  
**200 NORTH MAIN STREET**  
**PERRY, NEW YORK**

PROJECT NO.: 160276080A
DATE: 8/12/2016
PREPARED BY: BR
DRAWN BY: LKO
REVIEWED BY: BR



**anteagroup**  
 5788 Widewaters Parkway  
 Syracuse, NY 13214



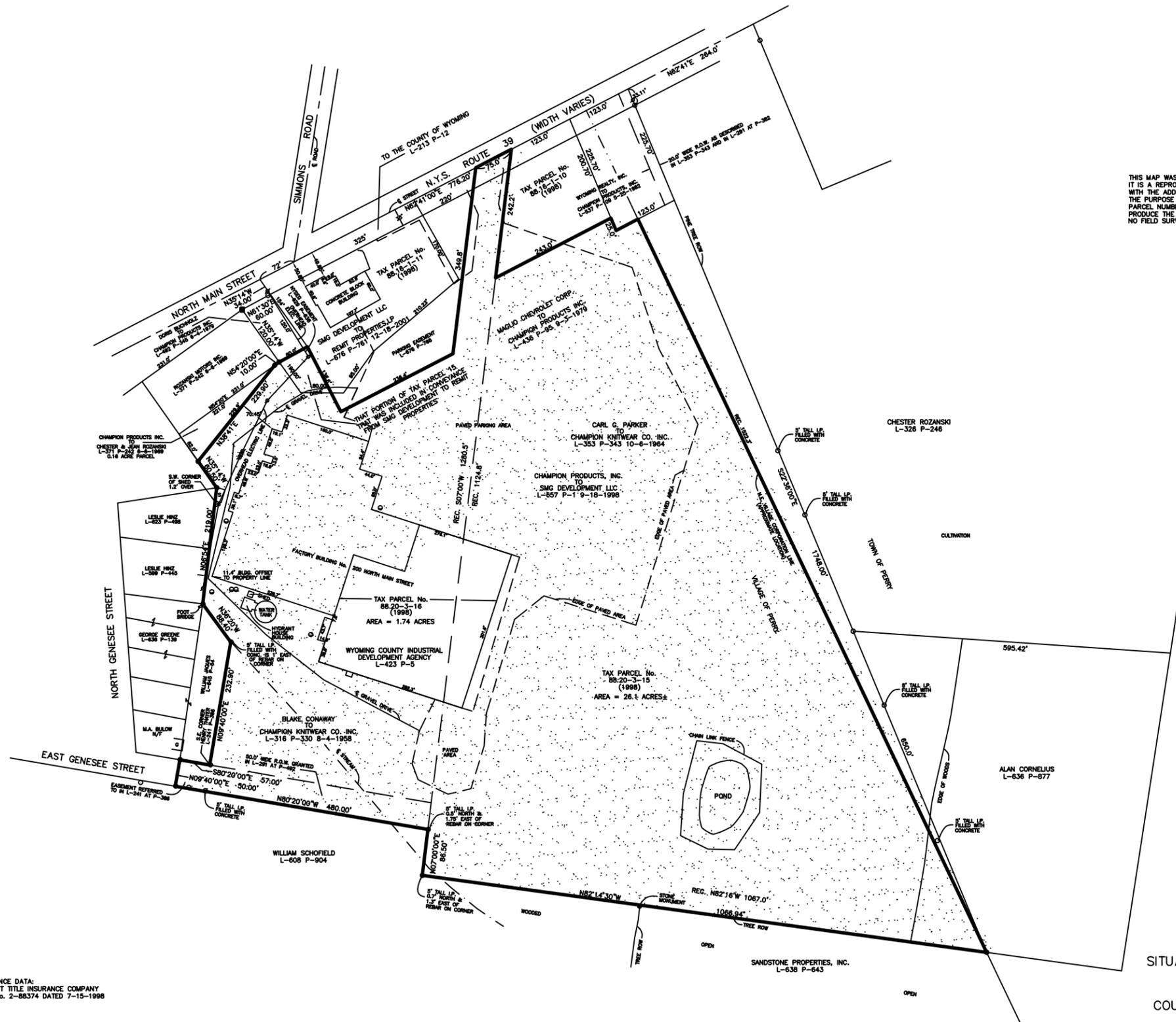
NOTE:  
○ = MONITORING WELL

NOTE:  
NEW IRON STAKES SHOWN THUS: (■)  
EXISTING IRON STAKES SHOWN THUS: (○)

REFERENCE DATA:  
STEWART TITLE INSURANCE COMPANY  
TITLE No. 2-68374 DATED 7-15-1998

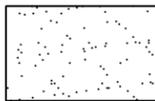
98-171-S  
2012-36-S

REVISED 9-15-1998

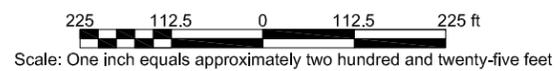


THIS MAP WAS DRAWN 4-10-2012  
IT IS A REPRODUCTION OF GILLEN MAP 98-171-S  
WITH THE ADDITION OF TAX PARCEL I.D. NUMBERS.  
THE PURPOSE OF THIS MAP WAS TO IDENTIFY TAX  
PARCEL NUMBERS THAT EXISTED IN 1998 AND TO  
PRODUCE THE MAP IN DIGITAL/ELECTRONIC FORMAT.  
NO FIELD SURVEYING WAS DONE ON 4-10-2012.

**LEGEND**

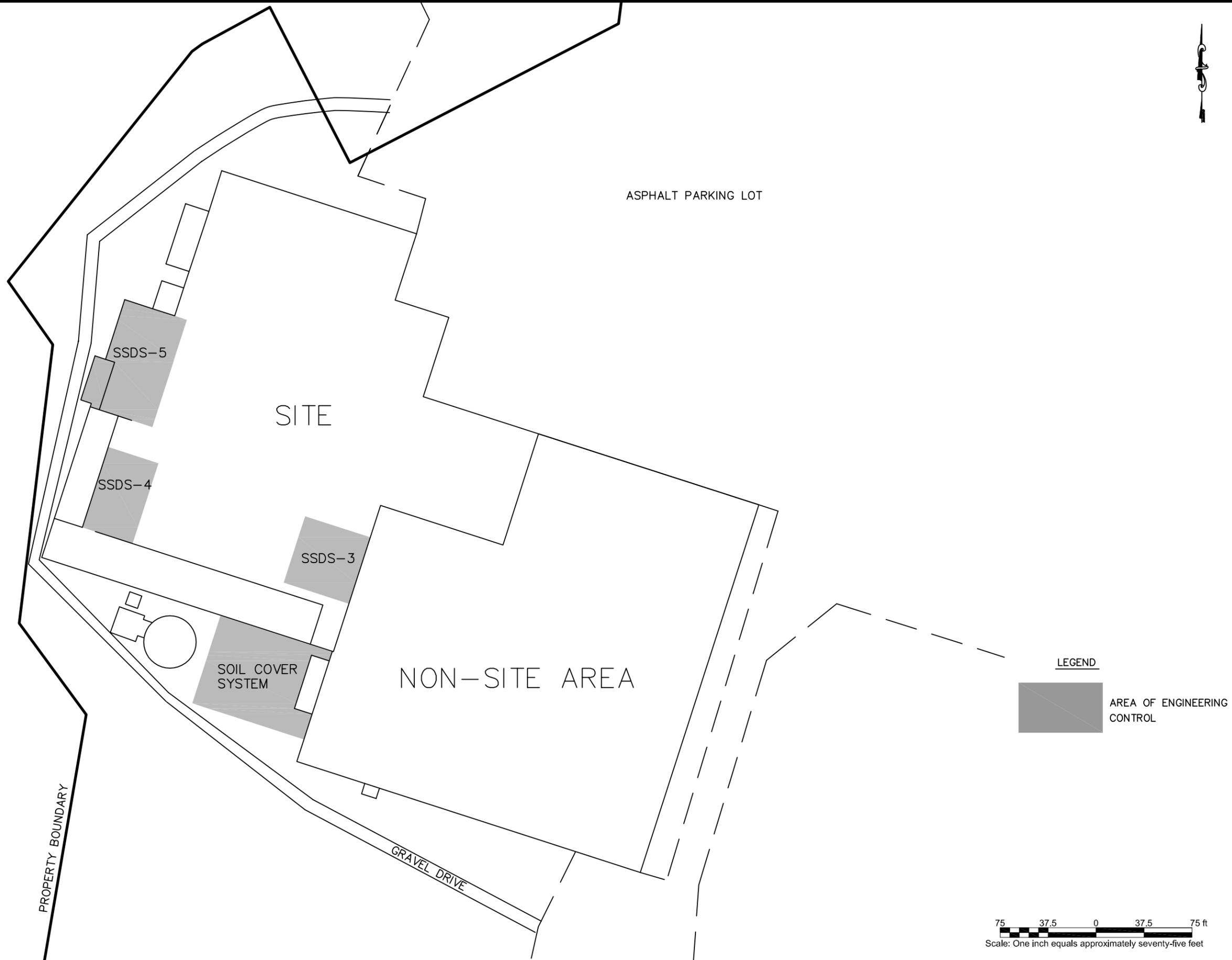
 AREA DEFINED AS THE SITE

SURVEY MAP - LAND OF  
CHAMPION PRODUCTS  
SITUATE ON LOT 28, WM. SHEPARD'S SUBDIVISION  
OF THE OGDEN TRACT  
VILLAGE & TOWN OF PERRY  
COUNTY OF WYOMING, STATE OF NEW YORK  
JOHN F. GILLEN-LAND SURVEYOR NO. 49649  
7 PERRY AVE., P.O. BOX 53 WARSAW N.Y.  
(585)786-3960



PROJECT NO.:	1107427P
DATE:	10/4/12
PREPARED BY:	MJS
DRAWN BY:	LKO
REVIEWED BY:	MJS

**FIGURE 2-SITE SURVEY MAP**  
**FORMER CHAMPION PRODUCTS FACILITY**  
**200 N. MAIN STREET**  
**PERRY, NY**



**FIGURE 3- ENGINEERING CONTROL LOCATIONS**  
 FORMER CHAMPION PRODUCTS FACILITY  
 200 N. MAIN STREET  
 PERRY, NY

PROJECT NO.: 1107427P
DATE: 10/4/12
PREPARED BY: MJS
DRAWN BY: LKO
REVIEWED BY: MJS