

APPENDIX D

**PERMIT APPLICATIONS
(TO BE PROVIDED WHEN OBTAINED)**

Contents

- Nassau County Road Opening Permit Application
- Town of Oyster Bay Building Application
- Town of Oyster Bay Variance Application
- Town of Oyster Bay Application for Permanent Test Wells



THOMAS R. SUOZZI
COUNTY EXECUTIVE

PETER J. GERBASI, P.E.
COMMISSIONER

NASSAU COUNTY DEPARTMENT OF PUBLIC WORKS
1194 PROSPECT AVENUE, 1ST FLOOR
WESTBURY, NEW YORK 11590

FAX NO.: 516-571-9654

TO: Klaus Schmittke

725 - 1394
FAX NO.: 519 - 884 - 0525

FROM: John Kempney PHONE NO.: 516-571-7033

COMMENTS: _____

12 Page(s) Transmitted (Including Cover Sheet)

IF YOU DID NOT RECEIVE THE PAGES TRANSMITTED, PLEASE CONTACT
516-571-9602 or 516-571-9601 IMMEDIATELY!

ROAD OPENING PERMIT APPLICATION
Nassau County Department of Public Works
For Work on Right-of-Way of County Roads

Non-refundable application fee: \$ 150.00

Please Print or Type this application

Receipt No. _____

Site Drawings (5) are required to be attached to this application

Check where applicable:

_____ New Work _____ Reconstruction _____ Grass Area _____ Drainage
_____ Road Opening _____ Sidewalk Opening _____ Curb Cut _____ Other

Applicant: _____ Tel No. () _____
(owner/agent)

Address: _____ Zip Code: _____

WORK SITE:

School Dist: _____ Section _____ Block _____ Lot _____

I request permission to _____ open, or _____ (re) construct, the (N - E - S - W or Middle) side of
(circle one)

(address) (community)

at a distance of _____ feet (N - E - S - W) from _____ for the
(circle one) (nearest intersection)

purpose of _____

Do trees have to be removed? _____ Yes _____ No (If Yes indicate on drawing)

Road/Sidewalk Opening:

Contractor: _____

Address: _____

Tel No. Day _____ Night _____

Licensed by & No.: _____

Road Pavement Restoration: (see contr's list)

Contractor: _____

Address: _____

Tel No. Day _____ Night _____

I have read and agree to abide by the Rules & Regulations pertaining to Permits for work on and within County Roads.

Signature: _____ Title: _____ Date: _____

FOR OFFICIAL USE ONLY

To: Highways & General Engineering

Your approval or disapproval is required. When completed, please return this referral to Contracts & Permits unit for processing. (Use reverse side for additional comments)

Check here where applicable:

Deposit Amount: \$ _____

_____ Disapproved
_____ Approved

By: _____ Date: _____

Comments:

CAUTION:

EXISTING UNDERGROUND TELEPHONE, ELECTRIC, GAS MAIN, WATER MAIN, SEWER, AND DRAINAGE IN CONSTRUCTION AREA. CONTRACTOR IS TO VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION.

NOTE:

CONTRACTOR SHALL SUPPORT POLES AS REQUIRED DURING CONSTRUCTION

NOTE:

CONTRACTOR IS ADVISED THAT HE IS TO COMPLY WITH THE REQUIREMENTS OF INDUSTRIAL CODE RULE 63.

NOTE:

ROW LINES OBTAINED FROM NASSAU COUNTY DRAINAGE AND HIGHWAY PLANS, CONTRACT NUMBERS 1002-3-S-1 AND 658-T

NASSAU COUNTY ROAD OPENING PERMIT WORK GUIDELINES

CONTRACTS / CONTRACTORS

1. CONTRACTS SHOULD NOT BE AWARDED TO CONTRACTORS WHO ARE NOT ON THE COUNTY'S APPROVED LIST. IF A CONTRACTOR IS NOT ON THE LIST, THE CONTRACTOR MUST COMPLETE THE COUNTY'S QUALIFICATION STATEMENT FORM AND SUBMIT IT TO THE COUNTY FOR REVIEW AND APPROVAL.
2. VERIZON MUST NOTIFY THE COUNTY WHO IS THE LOW BIDDER AND / OR CONTRACTOR WHO IS AWARDED THE JOB.
3. COUNTY MUST BE PROVIDED DAY & NIGHT TELEPHONE NUMBERS OF CONTRACTOR'S & NY TELEPHONE'S SUPERVISORY PERSONNEL.
4. CONTRACTORS MUST NOTIFY THE COUNTY'S INSPECTION STAFF AT 571-4184 WHENEVER THEY ARE WORKING WITHIN THE COUNTY RIGHT-OF-WAY.
5. NO DETOURING OF TRAFFIC ONTO SIDE ROADS WILL BE ALLOWED UNLESS A DETAILED TRAFFIC DETOUR PLAN IS SUBMITTED AND APPROVED BY THE COUNTY.
6. NO CLOSING OF TRAFFIC LANES WILL BE PERMITTED BEFORE 9:00 A.M. OR AFTER 4:00 P.M. TRAFFIC CONTROL MUST BE IN ACCORDANCE WITH THE NY'S MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. LIGHTED ARROWBOARDS MAY ALSO BE REQUIRED AS NEEDED.
7. NO UNSUITABLE MATERIAL WILL BE ALLOWED IN THE BACKFILL OF TRENCHES.
8. NO OPEN EXCAVATIONS OR STORAGE OF MATERIAL IN THE COUNTY RIGHT-OF-WAY WILL BE PERMITTED DURING NONWORKING HOURS.
9. A TEMPORARY HOT MIX OF ASPHALT MUST BE APPLIED TO THE TRENCHES BEFORE THE ROAD IS OPENED TO TRAFFIC.
10. TRAFFIC LANE STRIPING & REFLECTIVE LANE MARKERS WILL BE REQUIRED TO BE REPLACED IN KIND. NOTIFY N.C. TRAFFIC ENGINEERING (CHARLES PEFFER AT 671-4128) FOR ASSISTANCE WITH LAYOUT REQUIREMENTS.
11. ALL PERMANENT PAVING RESTORATION MUST CEASE AFTER NOVEMBER 30TH UNLESS THE COUNTY APPROVES A SPECIFIC LOCATION BASED UPON A FAVORABLE 5 DAY PROJECTED WEATHER FORECAST. NO WORK (PIPE INSTALLATION OR PAVEMENT RESTORATION) WILL BE PERMITTED DURING THE MONTH OF DECEMBER IN SHOPPING DISTRICT AREAS.

PAVEMENT RESTORATION

1. ... MUST PROVIDE A TYPICAL DETAIL OF TRENCH RESTORATION ON THEIR CONTRACT DRAWINGS (SEE ATTACHED SAMPLE SKETCH). ALSO REFER TO AND PROVIDE A COPY OF THE RULES & REGULATIONS FOR ROAD OPENING PERMITS TO THE CONTRACTOR FOR GUIDELINES WITH RESPECT TO CONSTRUCTION DETAILS.
 2. WHERE IT CAN BE DETERMINED ON BASED ROADS, A FULL PANEL WIDTH WILL BE REQUIRED TO BE REMOVED & RESTORED. IN OTHER AREAS, A MINIMUM WIDTH OF 5' WILL BE REQUIRED TO BE REMOVED & REPLACED TO ENSURE ROLLING OF THE SUBGRADE AND ASPHALT.
 3. NO PERMANENT RESTORATION OF PAVEMENTS CAN BEGIN UNTIL THE COUNTY PROVIDES THE MARKOUT OF THE LIMITS OF RESTORATION.
 4. A FULL DEPTH SAW CUT IS REQUIRED TO REMOVE EXISTING PAVEMENTS. IN MOST INSTANCES, A SECOND SAWCUT WILL BE REQUIRED 6" +/- BACK FROM THE EDGE OF TRENCH RESTORATION TO REMOVE THE TOP 1" OF ASPHALT PAVEMENT WHICH WILL ENSURE A TRUE VERTICAL AND CLEAN EDGE TO PAVE AGAINST. THE SAW CUT MUST BE IN A STRAIGHT LINE WITHOUT OFF-SET UNLESS APPROVED BY THE COUNTY.
 5. CONTRACTORS MUST OBTAIN PAVING MIXES (ASPHALT AND CONCRETE) FROM COUNTY APPROVED PLANTS AND MUST NOTIFY THE COUNTY'S MATERIAL TESTING LAB 24 HRS. PRIOR TO SHIPPING MATERIAL TO JOB SITE FOR PLANT INSPECTION.
 6. SOIL COMPACTION TESTS (BY AN INDEPENDENT TESTING LABORATORY) OF THE PAVEMENT SUBGRADE WITHIN THE TRENCH AREA IS REQUIRED AT 150'-200' INTERVALS. MINIMUM COMPACTION IS 95% A TEST FAILURE WILL REQUIRE A RETEST AFTER ADDITIONAL COMPACTION IS COMPLETED WITH ADDITIONAL TESTS TAKEN 50' IN EACH DIRECTION UNTIL A PASSING TEST IS OBTAINED.
 7. ON ROADS THAT HAVE A CONCRETE BASE, THE PAVEMENT RESTORATION SHOULD BE MADE WITH DENSE BASE ASPHALT TO A DEPTH 2" DEEPER THAN THE CONCRETE OR A MAXIMUM OR 12" INCLUDING A 1" TOP COURSE OF TYPE 1A ASPHALT. THE ASPHALT MUST BE PLACED IN COMPACTED LIFTS.
- ON ASPHALT CONSTRUCTED ROADS, THE PAVEMENT RESTORATION SHOULD MATCH THE EXISTING DEPTH WITH A MAXIMUM OF 12" AND A MINIMUM OF 9" TOTAL DEPTH INCLUDING THE TYPE 1A ASPHALT 1" WEARING COURSE. SHOULDER AREAS THAT ARE FOUND TO BE OF MINIMUM DEPTH SHOULD BE PLACED WITH A MINIMUM OF 4" DEPTH DENSE BASE ASPHALT & 1" TYPE 1A TOP COURSE ASPHALT.
8. ALL EXISTING PAVEMENT THAT IS GOUGED OR SCARRED DURING THE TRENCH BACKFILL OR CONSTRUCTION ACTIVITIES WILL BE MARKED BY THE COUNTY FOR REMOVAL & REPLACEMENT. THE TOP 1" OF PAVEMENT MUST BE SAWCUT AT THE PERMETER AS MARKED, REMOVED, & REPLACED WITH 1" OF TYPE 1A ASPHALT.
 9. THE SAW CUT EDGE OF THE EXISTING ASPHALT PAVEMENT MUST BE TACK COATED WITH AC AS WELL AS TOP SEALING THE PAVEMENT JOINT WITH A BEAD OF AC.

CONCRETE PAVEMENT RESTORATION

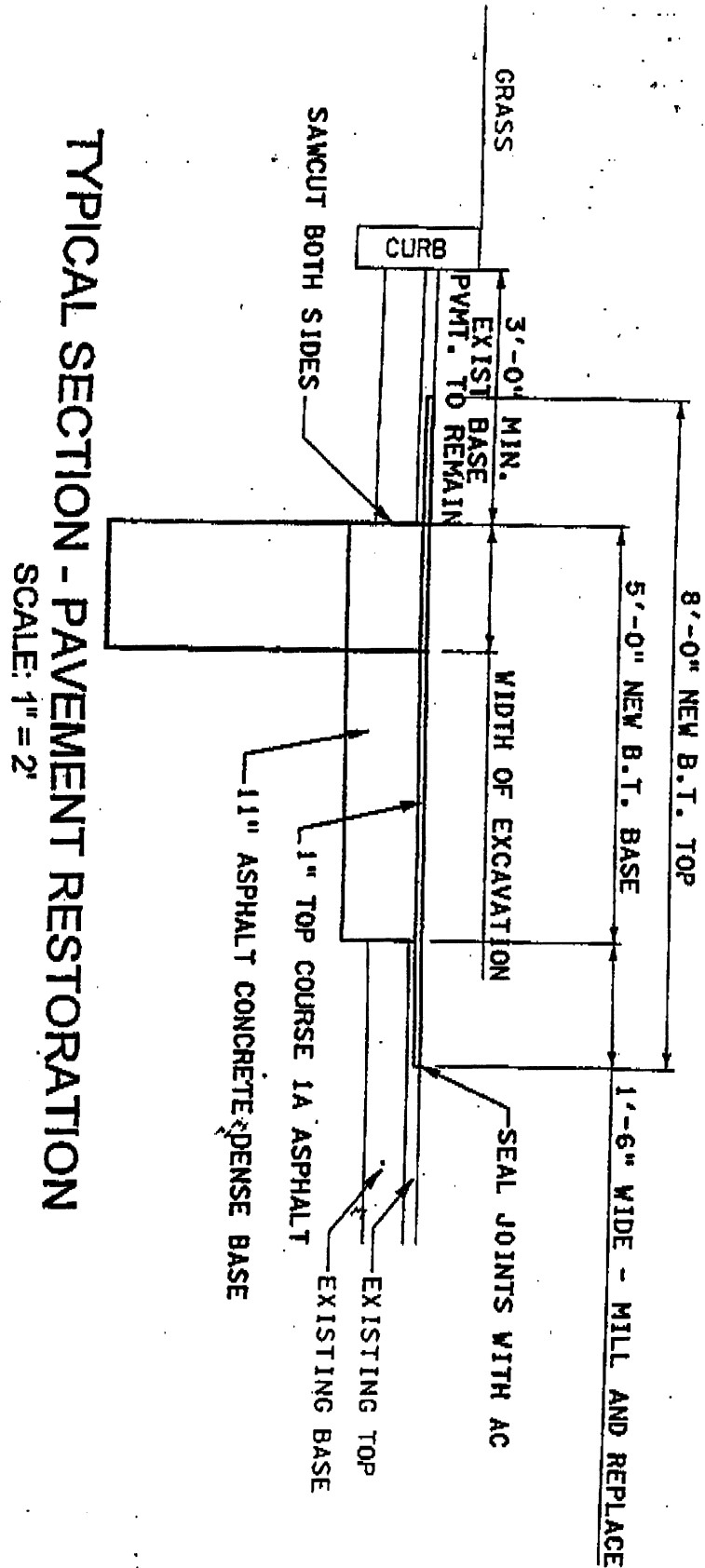
1. TRANSVERSE JOINT TIES ARE REQUIRED 12" O.C. AS PER STD. N.C. SPECIFICATIONS.
2. LONGITUDINAL JOINT TIES WILL BE REQUIRED AS PER STD. N.C. SPECIFICATIONS UNLESS AN UNDAMAGED KEYWAY EXISTS IN THE ABUTTING CONCRETE PANEL.
3. CONCRETE REPLACEMENT OVER TRENCHES CROSSING FINISHED CONCRETE ROADS MUST BE MADE WITH 4 HOUR HIGH EARLY CONCRETE IN ACCORDANCE WITH THE N.C. STANDARD SPECIFICATION FOR THIS MATERIAL.
4. WITH RESPECT TO LONG (GREATER THAN 40 LF) LONGITUDINAL TRENCH RESTORATIONS, CLASS "A" CONCRETE MAY BE USED IN ACCORDANCE WITH N.C. STANDARD SPECIFICATIONS.
5. THE PAVEMENT JOINTS MUST BE SEALED WITH A JOINT SEALING COMPOUND IN ACCORDANCE WITH N.C. STANDARD SPECIFICATIONS.

SIDEWALK CONSTRUCTION

1. TEMPORARY ASPHALT MUST BE PLACED IN THE WALK AREA AT THE END OF CONSTRUCTION EACH DAY FOR THE SAFETY OF PEDESTRIAN TRAFFIC.
2. FORMS FOR SIDEWALK RESTORATION MUST BE 2X6 LUMBER. CONCRETE SIDEWALK MUST BE 6" DEPTH. (SEE ATTACHED DETAIL DRAWING FOR DROP CURBS AND SIDEWALKS)
3. CURBS NOT REMOVED TO AN EXPANSION JOINT MUST BE SAW CUT FOR REMOVAL.
4. EXPANSION JOINTS ARE REQUIRED BETWEEN THE CURB AND SIDEWALK AND/OR APRON. MONOLITHIC CONCRETE POURS WILL NOT BE ACCEPTED.

TREES

1. EXISTING TREES MUST BE PROTECTED WHEN WORK IS DONE IN CLOSE PROXIMITY:
 - A. TREE TRUNKS MUST BE WRAPPED WITH PLANKS.
 - B. TUNNEL UNDER MAJOR ROOTS.
 - C. DAMAGED BARK MUST BE CUT BACK TO SOUND GROWTH.
 - D. BROKEN LIMBS MUST BE PRUNED TO CLOSEST SIDE BRANCH.
2. ALL TREE TRIM WORK MUST BE DONE BY A PROFESSIONAL ARBORIST.
3. IF A TREE SHOULD GO INTO SHOCK (DISPLAYED BY ABNORMAL LEAF DROP) BECAUSE OF ROOT DAMAGE, THE CROWN OF THE TREE MUST BE PRUNED A MINIMUM OF 25% TO COMPENSATE FOR ROOT LOSS. THE TREE WILL BE ASSESSED DURING THE NEXT GROWING SEASON FOR SUBSTANTIAL NEW GROWTH. IF THE TREE, IN THE OPINION OF THE COUNTY, DOES NOT INDICATE HEALTHY GROWTH, THE TREE MUST BE REMOVED AND REPLACED WITH A TREE OF A TYPE AND CALIPER SPECIFIED BY THE COUNTY. SAID NEW TREE MUST BE GUARANTEED FOR ONE YEAR.



TYPICAL SECTION - PAVEMENT RESTORATION

SCALE: 1" = 2'

Nassau County Approved Contractors List
For Road Opening Permit Pavement Restorations

Name	Address	Telephone #
A&J Antorino Co., Inc	199 New York Avenue P.O. Box 557 Huntington, NY 11743	631-673-1107
A. Stanco Contracting (American Paving)	8 Altamont Avenue Sea Cliff, NY 11579	516-674-4452
A. Uliano Construction	191 New York Avenue Huntington, NY 11743	631-423-7541
A.H.A Equipment Corp.	156 Lea Anne Terr. Wantagh, NY 11793	516-781-0990
A.P.J. Contr. Inc. Pipe Jackers, Inc.	987 Bartlett Road Middle Island, NY 11953	631-924-1010
A.T. Asphalt	784 Meacham Avenue Elmont, NY 11003	516-872-3986
A.W.L Construction Corp.	12 Verbena Avenue Floral Park, NY 11001	516-354-3388
Abner Plumbing and Elec.	266 Yale Street Hempstead, NY 11550	516-481-3788
Accurate Enterprises	280 No. Main Street Freeport, NY 11520	516-378-5400
Aline Const. Co., Inc.	P.O. Box 473 Medford, NY 11763	631-744-7425
All Island Plumbing	916 Lincoln Avenue Holbrook, NY 11741	631-563-3845

Allen Industries, Inc	510 Broadway Amityville, NY 11701	631-789-3333
Allstate Contracting, Inc.	158 Park Avenue Garden City Park, NY 11040	516-746-6828
Araz Industries, Inc.	55 Lamar Street West Babylon, NY 11704	631-491-1229
Asplundh Const. Corp.	2 Access Road Patchogue, NY 11772	631-447-2340
Bancker Const. Corp.	218 Blydenburgh Rd. Islandia, NY 11772	631-582-8880
Bi-County Const. Corp.	21 Commercial Blvd. Medford, NY 11763	631-732-0800
C.E.M. Const. Inc.	146 Duffy Avenue Hicksville, NY 11801	516-935-8530
Cantor & Cantor Inc.	50 Dallas Avenue New Hyde Park, NY 11040	516-488-1906
Carelli Const. Corp.	98-10 211 th Street Queens Village, NY 11428	718-740-1600
Carlo Lizza & Sons Paving, Inc.	50 Engel Street Hicksville, NY 11801	516-938-2566
CCM Contracting Corp.	132 Spruce Street Cedarhurst, NY 11516	516-374-2716
Cofire Paving Corp.	120-30 28 th Street Flushing, NY 11354	718-463-1403
Collins Const. Corp	615 Furrows Road Holtsville, NY 11742	631-736-8970
Complete Conc. Corp.	35 Brunswick Avenue Williston Park, NY 11596	516-746-4462

CSM Contracting, Inc.	114 6 th Street No. Lindenhurst, NY 11757	631-957-0317
D.H.M. Corp.	47 Dean Street Central Islip, NY 11772	613-234-8613
D.L.I. Contracting Inc.	184 Whitney Street Westbury, NY 11590	516-334-8349
Darr Const. Equip. Corp.	454 Sunrise Hwy. West Babylon, NY 11704	631-587-0813
De Bellis & Sons Inc.	3 Sampson Street Oyster Bay, NY 11771	516-922-4460
De Rosa Paving	P.O. Box 342 Huntington Station, NY 11746	631-586-0666
De Rosa Paving, Inc.	137-09 Eastgate Plaza Springfield Gardens, NY 11413	718-527-8885
Delhi Const. Corp.	190 Bellrose Avenue East Northport, NY 11731	631-757-6659
Denicola Bros. Inc.	491 Westbury Avenue Carle Place, NY 11514	516-997-3220
Duck Industries Ltd.	120 Freeman Avenue Islip, NY 11751	631-581-0082
Duffy Thompson Ind.	266 Rte. 109 East Farmingdale, NY 11735	631-293-6552
Dunne Const. Corp.	72 Simcoe Street Oyster Bay, NY 11771	516-922-7126
E. Cook Industries, Inc.	59 New York Avenue Westbury, NY 11590	516-997-2895
Ed Broidy Const. Corp.	8 No. Tyson Avenue Floral Park, NY 11001	516-354-0340

Elmore Assoc., Inc.	2965 Horseblock Road Medford, NY 11763	631-654-3130
Ernst Stumph Contractor	47 Stevens Street Freeport, NY 11520	516-379-3426
Felix Contr. Corp.	4817 Baldwin Street Bronx, NY 11470	718-325-8857
Felix Industries, Inc.	Rte. 202 & Lovell St. Lincolndale, NY 11540	914-248-8500
Frank Rubustello & Sons, Inc.	80 Seaman Avenue Rockville Centre, NY 11570	516-766-3500
Frank Quinto & Sons, Inc.	76 Washington Avenue Island Park, NY 11558	516-432-3944
G&F Plumbing	8 Burroughs Avenue Dix Hills, NY 11746	631-586-4410
G&H Crouchley, Inc.	327 Cross Street Westbury, NY 11590	516-333-0117
Galvin Bros.	151A Steamboat Road Great Neck, NY 11024	516-466-3785
Guy Pratt Inc.	608 Union Avenue Holtsville, NY 11742	631-289-6100
Hawkeye Construction	2 Access Road Patchogue, NY 11772	631-447-3830
HHJR Const. Ltd.	280 No. Main Street Freeport, NY 11520	516-378-5400
Island Wide Paving Inc.	161 Bethpage-Sweethollow Rd. Old Bethpage, NY 11804	516-694-2909
J. Coccarelli Const. Co.	7 Cross Street Port Washington, NY 11050	516-883-6606
J.D. Posillico, Inc.	1610 New Highway Farmingdale, NY 11735	631-249-1872

Jim Longo Inc.	30 Hamilton Avenue P.O. Box 337 Oyster Bay, NY 11771	516-922-2730
Kings Park Industries	139 Old Northport Rd. P.O. Box 309 Kings Park, NY 11754	631-269-9774
LaMay & Sons, Inc.	18 Briarwood Dr. Huntington, NY 11743	631-423-2740
Lourdes Industries, Inc.	65 Hoffman Avenue Happauge, NY 11788	631-234-6600
Ludemann Elect. Inc.	465 No. Main Street Freeport, NY 11520	516-378-6227
Masone Bros., Inc.	204 West Broadway Inwood, NY 11696	516-239-7558
Merrick Utility Assoc.	91 Marine Street Farmingdale, NY 11735	516-249-2560
Michael A. Larson	P.O. Box 536 34 Bayside Avenue Oyster Bay, NY, 11771	516-922-4000
New York Paving Inc.	208 Sweet Hollow Road Old Bethpage, NY 11804	516-694-4141
Newborn Contracting Co.	55 Clinton Street Center Moriches, NY 11934	631-878-6666
Nicolino Const. Co., Inc.	555 Southside Avenue Freeport, NY 11520	516-868-6579
Oak Tree Sewers Inc.	2214 Jackson Avenue Seaford, NY 11783	516-781-8428
O'Conner Paving Co.	302 Guy Lombardo Avenue Freeport, NY 11520	516-868-1891
P.C.M. Const. Inc.	C/o Brooklyn Navy Yard	718-522-2570

	Flushing and Cumberland Street Brooklyn, NY 11205	
Pat Noto Inc.	30 Wisconsin Court Bay Shore, NY 11706	631-231-4343
Paul Todd Inc.	Cedar Lane Glen Cove, NY 11542	516-671-9160
PAV-CO Asphalt Inc.	615 Furrows Road Holtsville, NY 11742	631-289-3406
Quality Plumbing Co. Inc.	1881 Newbridge Road Bellmore, NY 11710	516-781-5151
R&R Constructionq	2500 Knickerbocker Avenue Medford, NY 11763	631-727-2676
Raymond Rizzo Assoc.	97 East Hawthorne Avenue Valley Stream, NY 11581	516-825-7227
Rocco Contr. Inc.	150 School Street Westbury, NY 11590	516-333-3807
Salvatore Levatino & Sons, Inc.	129 Jackson Avenue Mineola, NY 11501	516-742-0109
Scialli Plumbing and Heating Inc.	337 Sylvan Lane Westbury, NY 11590	516-334-6701
Sicuranza Plumbing Inc.	4 East Avenue Glen Cove, NY 11542	516-759-0259
Skillman II Const. Co. Inc.	18 Meadow Lane Lawrence, NY 11559	516-239-8461
Spiniello Const. Co.	35 Airport Road Morristown, NJ 07960	201-539-6363
Stanco Bros. Inc. (American Paving)	46 Frost Pond Road Glen Cove, NY 11542	516-676-8340
Stasi Bros. Asphalt Corp.	418 Maple Avenue Westbury, NY 11590	516-334-1229

Terry Gallagher Inc.	50 Sprague Avenue Amityville, NY 11701	631-789-9540
Thomas Novelli Const. Corp.	94-05 165 th Street Jamaica, NY 11433	718-523-4439
Tri-Star Building Corp.	150 Sunnyside Avenue Pleasantville, Ny 10570	914-747-1100
Turnabout Environ. Services	574 Sunrise Highway Baldwin, NY 11510	516-536-4411
Unique Concrete Inc.	7 First Avenue East Islip, NY 11730	631-581-3221
V.N.A. Utility Contr.	1037 61 st Street Brooklyn, NY 11219	718-871-6916
Vivona Estates Inc.	198 Bayville Ave. Bayville, NY 11006	516-628-2121
Westmoreland Const. Inc.	151-45 6 th Road Whitestone, NY 11357	718-747-9000

INSTRUCTIONS FOR BUILDING APPLICATION

THE FOLLOWING ITEMS MUST BE SUBMITTED:

1. **A NON-REFUNDABLE APPLICATION FEE OF \$~~25.00~~^{50.00} MUST ACCOMPANY EACH APPLICATION.** Checks must be made out to the Town of Oyster Bay. Once application is approved, you will be notified by mail of the final balance due.
2. **BUILDING APPLICATION:** Please fill out all necessary information, sign and have *notarized* before being submitted. The Owners side of the application must be signed by property owner and *notarized*. If owner is deceased, a letter of testamentary must be submitted by executor.
3. **TWO (2) SETS OF CONSTRUCTION DRAWINGS** shall include foundation plans, framing plans, floor plans, cross sections, elevations and all necessary details to completely describe proposed or existing work. They shall be prepared in a standard architectural manner to scale. Plans will require original inked seal and signature of a licensed professional Engineer or Architect when the estimated cost of work exceeds \$10,000 as computed by the Means Cost Indicator.
4. **TWO (2) PHOTOSTATS OF ORIGINAL SURVEY** by a land surveyor must indicate any additions, alterations, accessory structures and all setbacks if not already shown.
5. **AFFIDAVIT OF AVERAGE SETBACK** is required for any construction at front of dwelling or corner properties or second story addition and dormers in front of house.
6. ~~APPLICANT MUST BE A RESIDENT OF THE TOWN OF OYSTER BAY.~~
7. **AN "ORIGINAL" INSURANCE CERTIFICATE FOR WORKER'S COMPENSATION NAMING THE TOWN OF OYSTER BAY AS CERTIFICATE HOLDER** is required by all contractors for proposed work. If contractor is self-employed then two (2) Self Employed Workers Compensation Affidavits must be submitted. If homeowner is doing the proposed work then the homeowner must submit the two affidavits.
8. **NASSAU COUNTY HOME IMPROVEMENT LICENSE NUMBER WITH CURRENT EXPIRATION DATE** is required by Contractor for all proposed residential work.
9. ~~MAIL HOLD FORM (green sheet) name, address, telephone number & signature.~~
10. **BALANCE DUE CARD** (final permit fee) requires name, address and section, block and lot.
11. **PLUMBING APPLICATION** required if there is any proposed or existing plumbing work indicated.

****For further information:**

Tel. No. 624-6200 / Fax No. 624-6240

THE FOLLOWING ITEMS MAY BE REQUIRED IN ADDITION TO ITEMS 1-11 ABOVE:

FIRE DAMAGE: Must submit letter estimating cost of reconstruction which is to be signed by a licensed architect/engineer or contractor and must accompany application.

NEW DWELLINGS/NEW COMMERCIAL BUILDINGS:

In addition to the above information, the following additional information is required:

*When site is adjacent to a TOWN ROAD, eight (8) original copies of a survey are required (in accordance with T.O.B. Individual Building Site Plan Rules and Regulations).

*When site is adjacent to a COUNTY ROAD, thirteen (13) original copies of a survey is required (in accordance with T.O.B. Individual Building Site Plan Rules and Regulations).

*When site is adjacent to a STATE ROAD, a work permit or letter of approval is required from N.Y.S. Department of Transportation.

*When site is in a Ground Water Protection Area with less than 40,000 square feet of property, a letter of approval from Nassau County Board of Health is required.

*A Letter of Water Availability from local Water District

*A Preliminary Affidavit of Certification is required for all proposed commercial work exceeding 10,000 square feet of floor area.

SPRINKLER SYSTEMS: When installing a new Fire Sprinkler System, two (2) sets of plans approved by I.S.O. or Nassau County Fire Marshall are required. A Plumbing Application will be required if a new system does not have a DCV (double check valve) as part of the system.

SITE WORK: Must comply with T.O.B. Individual Building Site Plan Rules and Regulations.

ELEVATORS: Refer to items 1-10.

REISSUE OF AN EXPIRED BUILDING PERMIT: Requires Item #2 from above and the following:

Six (6) copies of expired permit

A check for \$50.00 made payable to the Town of Oyster Bay (only fee required)

(see reverse side for application)

MAP SECTION _____ BLOCK _____ LOT(s) _____



TOWN OF OYSTER BAY
DEPARTMENT OF PLANNING & DEVELOPMENT
DIVISION OF BUILDING
Town Hall
Oyster Bay NY 11771



APPLICATION FOR PERMIT TO BUILD OR INSTALL
APPLICATION MUST BE TYPEWRITTEN OR PRINTED IN INK LEGIBLY

PROPERTY OWNER _____
NAME STREET ADDRESS POST OFFICE ZIP PHONE #
LESSEE _____
TENANT _____
APPLICANT _____
ARCHITECT _____
CONTRACTOR _____

NASSAU COUNTY HOME IMPROVEMENT NO. _____ EXP. _____
WORKERS COMPENSATION NO. _____

*Pursuant to Section 57, of the Worker's Compensation Law a Certificate of Insurance on the standard form subscribed by an insurance company authorized by the Superintendent of Insurance to issue worker's compensation policies must be filed with this application covering all operations in connection therewith.

ADDRESS OF CONSTRUCTION: _____
IF DIFFERENT FROM ABOVE NO. & STREET POST OFFICE ZIP CODE

LOCATION OF PROPERTY: N.E.S.W. SIDE OF _____ FEET
N.E.S.W. OF _____ (STREET) ; _____ (DIMEN.)
OR
N.E.S.W. corner of _____ (STREET) and _____ (STREET) ; _____ (POST OFFICE)

A. TYPE OF IMPROVEMENT:

EXISTING _____ PROPOSED _____
1. NEW BUILDING/STRUCTURE _____
2. ADDITION/EXTENSION _____
3. ALTERATION (i.e. Gar. Conv.) _____
4. DECK _____
5. AWNING/ ROOF-OVER _____
6. CELLAR ENTRANCE _____
7. REISSUE # _____
8. OTHER _____

TYPE OF BUILDING:

B. PROPOSED USE:

EXISTING _____ PROPOSED _____
1. ONE FAMILY _____
2. TWO FAMILY _____
3. PARENT CHILD _____
4. GARAGE _____
5. BUSINESS _____
6. INDUSTRIAL _____
7. RESTAURANT _____
8. PUBLIC ASSEMBLY _____
9. OTHER _____

DESCRIBE WORK IN DETAIL (SIZE & DIMENSION(S) OF STRUCTURE(S)) _____

* IF PLUMBING IS INVOLVED A SEPARATE APPLICATION MUST BE SUBMITTED.

HAVE BOTH AFFIDAVITS NOTARIZED

THE OWNER OF THIS BUILDING & THE UNDERSIGNED AGREE TO CONFORM TO ALL APPLICABLE LAWS OF THE TOWN OF OYSTER BAY, COUNTY OF NASSAU & STATE OF NEW YORK.

APPLICANT

STATE OF NEW YORK
COUNTY OF NASSAU

SS.:

being duly sworn, deposes

and says: That he/she resides at _____ in the hamlet of _____ in the State of _____ and that he/she is authorized by the Owner who is the owner in fee of all that certain lot, piece or parcel of land shown on the attached survey, situated, lying and being within the unincorporated area of the Town of Oyster Bay, to make application for a permit to perform said work in the foregoing application and accompanying plans, and all the statements contained therein are true to deponent's own knowledge.

Address _____
Phone _____

(Sign here) _____

Sworn to before me this _____ day of _____ 20____

NOTARY PUBLIC

OWNER

STATE OF NEW YORK
COUNTY OF NASSAU

SS.:

being duly sworn, deposes

and says: That he/she resides at _____ in the hamlet of _____ in the State of _____ and that he/she is the owner in fee of all that certain lot, piece or parcel of land shown on the attached survey, situated, lying and being within the unincorporated area of the Town of Oyster Bay, that the work proposed to be done upon the said premises, will be done in accordance with the approved application and accompanying plans, and hereby authorizes

_____ (applicant) to make application for a permit to perform said work in foregoing application and accompanying plans, and all the statements herein contained are true to deponent's own knowledge.

(Sign Here) _____ (owner)

Sworn to before me this _____ day of _____ 20____

NOTARY PUBLIC

**TOWN OF OYSTER BAY
CODE DATA WORKSHEET**

DATE: _____

APPLICATION NO.: _____

PROPOSED TENANCY (including sq. footage): _____

PRIOR TENANCY (including sq. footage): _____

DESIGN PROFESSIONAL (REGISTERED ARCHITECT OR PROFESSIONAL ENGINEER): _____

TELEPHONE: _____

FAX: _____ CELL PHONE: _____

CODES:
 BUILDING CODE OF NYS, 2002 [B]
 FIRE CODE OF NYS, 2002 [F]
 MECHANICAL CODE OF NYS, 2002 [M]
 PLUMBING CODE OF NYS, 2002 [PB]
 FUEL GAS CODE OF NYS, 2002 [FG]
 ENERGY CONSERVATION CODE OF NYS, 2002 [E]
 RESIDENTIAL CODE OF NYS, 2002 [R]
 PROPERTY MAINTENANCE CODE OF NYS, 2002

TYPE OF WORK:

- | | | |
|---|---|---|
| <input type="checkbox"/> NEW CONSTRUCTION | <input type="checkbox"/> REPAIRS (K401) | <input type="checkbox"/> RENOVATIONS (K501) |
| <input type="checkbox"/> ALTERATIONS (K601) | <input type="checkbox"/> RECONSTRUCTION (K701) | <input type="checkbox"/> CHANGE OF OCCUPANCY (K801) |
| <input type="checkbox"/> ADDITIONS (K901) | <input type="checkbox"/> HISTORIC BUILDINGS (K1001) | <input type="checkbox"/> RELOCATED STRUCTURES (K1101) |

CODE DATA

ACTUAL CODE DATA MUST BE PROVIDED WHERE APPLICABLE

LEGEND:

NA – NOT APPLICABLE
 NC – NON-CONFORMING

NR – NOT REQUIRED
 R – REQUIRED

NS – NOT SHOWN ON DRAWINGS
 C – CONFORMS

(* APPLICANT MUST PROVIDE CALCULATIONS IN SPACE PROVIDED ON LINES 3.4, 3.5, 5.1 & 5.2)

NO.	TOPIC	CODE SECTION	REQUIRED/ ALLOWED (BY CODE)	ACTUAL (PROPOSED)
1.0	OCCUPANCY CLASSIFICATION PROPOSED/EXISTING	302		
2.0	TYPE OF CONSTRUCTION (INCLUDE SUBTYPE)	602		
2.1	FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS)	TABLE 601		
2.2	FIRE RESISTANCE RATING REQUIREMENTS FOR EXTERNAL WALLS	TABLE 602		
3.0	ALLOWABLE HEIGHT AND BUILDING AREAS	CHAPTER 5		
3.1	HEIGHT (FT.)	TABLE 503		
3.2	NUMBER OF STORIES	TABLE 503		
3.3	FLOOR AREA (SQ. FT. PER FLOOR)	TABLE 503		
3.4	HEIGHT MODIFICATIONS *	504		
3.5	FLOOR AREA MODIFICATIONS *	506		
3.6	OTHER			
4.0	FIRE PROTECTION SYSTEMS	CHAPTER 9		
4.1	AUTOMATIC SPRINKLER SYSTEM	903 [B] [F]		
4.2	PORTABLE FIRE EXTINGUISHERS (MUST SHOW LOCATIONS ON DRAWINGS)	906 [B] [F]		
4.3	FIRE ALARM AND DETECTION SYSTEM	907 [B] [F]		
4.4	OTHER			
4.5	OTHER			
5.0	MEANS OF EGRESS	CHAPTER 10		
5.1	OCCUPANT LOAD *	TABLE 1003.2.2.2		
5.2	EGRESS WIDTH *	TABLE 1003.2.3		
5.3	EXIT SIGN(S)	1003.2.10		
5.4	EGRESS ILLUMINATION (EMERGENCY LIGHTS)	1003.2.11 THRU 1003.2.11.3		
5.5	STAIRWAYS	1003.3.3		
5.6	EXIT ACCESS	1004		
5.7	SPACES WITH ONE MEANS OF EGRESS EXIT ACCESS TRAVEL DISTANCE	TABLE 1004.2.1 TABLE 1004.2.4		
5.8	CORRIDOR WIDTH	1004.3.2.2		
5.9	CORRIDOR FIRE RESISTANCE RATING	TABLE 1004.3.2.1		
5.10	DEAD ENDS	1004.3.2.3		
5.11	CORRIDOR CONTINUITY	1004.3.2.5		
5.12	EXISTING/MINIMUM NUMBER OF EXITS	1005		
5.13	BUILDINGS WITH ONE EXIT	TABLE 1005.2.1 1005.2.2		
5.14	ENCLOSURES	TABLE 1005.2.2 1005.3.2		
5.15	OTHER			
5.16	OTHER			

CODE DATA – PAGE 2

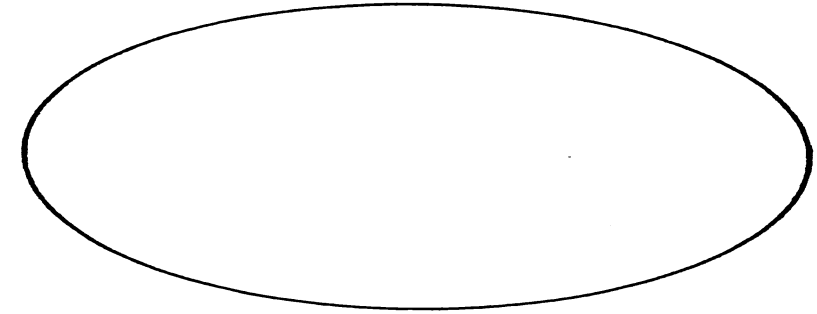
NO.	TOPIC	CODE SECTION	REQUIRED/ ALLOWED (BY CODE)	ACTUAL (PROPOSED)
6.0	ASSEMBLY	SECTION 1008	---	---
6.1	MAIN EXIT	1008.1		
6.2	OTHER EXITS	1008.2		
6.3	INTERIOR BALCONY AND GALLERY MEANS OF EGRESS	1008.4		
6.4	TRAVEL DISTANCE	1008.6		
6.5	COMMON PATH OF TRAVEL	1008.7		
6.6	REQUIRED AISLES	1008.8		
6.7	OTHER			
6.8	OTHER			
7.0	ACCESSIBILITY (ICC/ANSI A-117.1 –98) [NOTE: ALL NEW TOILET ROOMS MUST BE ACCESSIBLE]	CHAPTER 11		
7.1	OTHER			
8.0	ENERGY CONSERVATION CONSTRUCTION CODE - PROVIDE REQUIRED TABLES AND CLIMATE ZONE <i>OR</i> COMCHECKLIST CALCULATIONS ** (ATTACH 8 1/2 " x11" SHEETS SEPARATELY - SIGNED AND SEALED REQUIRED) **DOWNLOAD FREE SOFTWARE AT WWW.ENERGYCODES.GOV			
9.0	REQUIRED LIVE LOADS	TABLE 1607.1		
9.1	SNOW LOADS	FIGURE 1608.2	45 PSF	
10.0	PLUMBING REQUIRED NUMBER OF FIXTURES			
11.0	HEAT PRODUCING EQUIPMENT [NOTE: A STRUCTURAL DIAGRAM/FRAMING PLAN MUST BE PROVIDED TO BE ACCEPTABLE]		---	---
11.1	NUMBER OF PROPOSED UNITS AND LOCATION			
11.2	NUMBER OF EXISTING UNITS			
11.3	NUMBER OF REPLACEMENT UNITS			
11.4	ELECTRICAL OR GAS POWERED (GAS REQUIRES A PLUMBING APPLICATION)			
12.0	SITE WORK		---	---
12.1	LINEAR FEET OF CURBING			
12.2	SQUARE YARDS OF ASPHALT PAVING			
12.3	CUBIC YARDS OF BASE			
12.4	NUMBER OF DRYWELLS/CATCH BASINS			
13.0	ALL OTHER APPLICABLE CODES(S) THAT APPLY TO THE SCOPE OF WORK BEING PERFORMED i.e. ANY OTHER BUILDING CODES NASSAU COUNTY FIRE MARSHAL NASSAU COUNTY HEALTH DEPT. CURB CUTS (CONTACT APPROPRIATE AGENCY – STATE, COUNTY OR TOWN)			

THE ABOVE IS A SUMMARY OF THE BASIC CODE, WHICH APPLIES TO MANY COMMERCIAL BUILDING APPLICATIONS. IT IS NOT MEANT TO BE A COMPLETE OR COMPREHENSIVE LIST OF APPLICABLE BUILDING CODE REQUIREMENTS, WHICH MAY APPLY TO ANY PARTICULAR OR GIVEN SITUATION.

PLAN EXAMINER COMMENTS:

OFFICE USE ONLY

ORIGINAL INKED SEAL AND SIGNATURE OF A LICENSED PROFESSIONAL ENGINEER OR REGISTERED ARCHITECT REQUIRED.



DATE DENIED: _____

PLAN EXAMINER: _____

DATE APPROVED: _____

INSTRUCTIONS FOR APPLICATION FOR PLUMBING FIXTURES

THE FOLLOWING ITEMS MUST BE SUBMITTED

1. **A NON-REFUNDABLE APPLICATION FEE OF ~~50.00~~ 50.00 MUST ACCOMPANY EACH APPLICATION.** Checks must be made out to the Town of Oyster Bay. Once application is approved, you will be notified by mail of the final balance due.
2. **A DETAILED SCHEMATIC DIAGRAM** must be drawn where indicated on the reverse side of application or on building plans submitted in conjunction with building construction applications.
3. **ONE (1) PHOTOSTAT OF ORIGINAL PROPERTY SURVEY** to verify Section, Block and Lot.
4. **PLUMBING APPLICATIONS MUST BE COMPLETED AND NOTARIZED BY A LICENSED AND CURRENTLY INSURED TOWN OF OYSTER BAY PLUMBER.**
5. **BALANCE DUE CARD** (final permit fee) requires name, address and Section, Block and Lot.

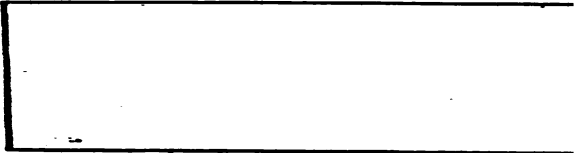
****For further information: Tel. No. (516)624-6200/FAX NO. 624-6240**

(see reverse side for application)

SECTION _____ BLOCK _____ LOT(s) _____



**TOWN OF OYSTER BAY
DEPARTMENT OF PLANNING & DEVELOPMENT
DIVISION OF BUILDING
Town Hall
Oyster Bay NY 11771**



APPLICATION FOR PLUMBING FIXTURES

APPLICATION MUST BE TYPEWRITTEN OR PRINTED IN INK LEGIBLY.

OWNER/LESSEE: Name _____ Street Address _____ Post Office _____ Zip _____ Phone # _____

PLUMBER: _____

ADDRESS OF CONSTRUCTION: _____
IF DIFFERENT FROM ABOVE

LOCATION OF PROPERTY: N.E.S.W. SIDE OF _____ NO. & STREET _____ POST OFFICE _____ ZIP CODE _____
(STREET) (DIMEN) FEET
OR N.E.S.W. OF _____ (STREET) _____ (POST OFFICE) _____
N.E.S.W. OF _____ corner of _____ and _____ (STREET) _____ (STREET) _____ (POST OFFICE) _____

TYPE OF BUILDING:

Residential: _____ Proposed: _____
Commercial: _____ Maintained: _____

***KITCHEN SINK**
New _____
Relocated _____
Parent/Child Use _____

Water Closet
Lavatory
Bath Tub
Shower
Kitchen Sink
Dish Washer
Laundry Tub
Slop Sink
Indirect Waste
Urinal
Other

	Number of Fixtures:				
	B	1st	2nd	3rd	4th
Water Closet					
Lavatory					
Bath Tub					
Shower					
Kitchen Sink					
Dish Washer					
Laundry Tub					
Slop Sink					
Indirect Waste					
Urinal					
Other					

Draw Schematic Diagram Below - Must Indicate Type of Piping, Size, Runs, Venting.

No lead Solder for Potable Water Lines

It shall be unlawful to extend or alter any existing or install any new plumbing or drainage work until a permit has been duly issued and then only in conformance with the provisions of the Construction Code of the State of New York. All cooper piping for potable water shall be installed with solder having a composition of lead limited to .20 percent in conformance with 9 NYCRR Part 905 and the Town of Oyster Bay Plumbing Code section 20-5.

Licensed Number: _____
Name (Print): _____
Business Address: _____

Sworn to before me this _____ day of _____ 20____

Acknowledged: _____
Master Plumber (Signature)

Notary Public



Town of Oyster Bay
 Department of Planning & Development
 Division of Building
 Town Hall, 74 Audrey Avenue
 Oyster Bay NY 11771
 (516) 624-6200
 FAX (516) 624-6240

STATE OF NEW YORK)
) ss
 COUNTY OF NASSAU)

AFFIDAVIT OF AVERAGE SETBACK

_____ Being duly sworn deposes and says he/she is the _____
 of _____ Section _____ Block _____ Lot(s) _____
 Name Address Owner/Applicant

INTERIOR PLOT: That the average front setback on the _____ side of _____
 between _____ and _____ is _____ feet.
 NESW.

CORNER PLOT: (Principal Street) That the average front setback on the _____ side of _____
 between _____ and _____
 is _____ feet.
 NESW.

(Side Front Street) That the average front setback on the _____ side of _____
 between _____ and _____ is _____ feet.
 NESW.

AVERAGE SETBACK- Computed by using the front setbacks*(defined below) of the adjacent buildings within a two hundred foot distance from each side yard of the subject property. If the two hundred (200) feet is interrupted by an intersection, only the front setbacks up to that intersection shall be used in calculating the average. Where existing buildings within the two hundred (200) feet on either side have a greater front setback than the maximum front setback allowed herein, the maximum front setback shall be used in the calculation.

FRONT SETBACK- The distance from the closest point of the principal structure on a plot to the front property line, measured perpendicular to the front property line.

THE DEPONENT FURTHER STATES THAT THE IMPROVEMENT OF THIS DESCRIBED PROPERTY IN SUCH A MANNER WILL NOT CREATE AN ILLEGAL PARCEL OR TO RESERVE ANY PORTION OF SAID LAND AS A SEPARATE PLOT WHICH VIOLATES THE AREA, WIDTH, OR STREET FRONTAGE REQUIREMENTS OF THE BUILDING ZONE ORDINANCE OF THE TOWN OF OYSTER BAY.

DEPONENT MAKES THIS AFFIDAVIT WITH FULL KNOWLEDGE THAT THE BUILDING DEPARTMENT RELIES UPON THE TRUTH OF THE STATEMENTS HEREIN CONTAINED AND IN RELIANCES THEREON WILL ISSUE THE PERMIT CALLED FOR IN THE APPLICATION.

SWORN TO BEFORE ME THIS _____
 _____ DAY OF _____, 20____

 SIGNATURE

 NOTARY



TOWN OF OYSTER BAY, AUDREY AVENUE, OYSTER BAY, NEW YORK 11771
BOARD OF APPEALS
APPLICATION

624-6230

THESE SPACES FOR OFFICE USE ONLY

APPLICATION NO	RECEIPT NO	DATE ADVERTISED	DATE OF MEETING	CASE NO
----------------	------------	-----------------	-----------------	---------

PLEASE TYPEWRITE OR PRINT ALL INFORMATION IN INK

1. APPELLANT'S NAME _____ DATE _____

STREET ADDRESS	POST OFFICE	ZIP CODE	TELEPHONE NO.
MAIL NOTICE TO			
STREET ADDRESS	POST OFFICE	ZIP CODE	TELEPHONE NO.

2. SUBJECT _____

LOCATION OF PROPERTY

3. SIDE OF AND NAME OF STREET _____ NO OF FT FROM INTERSECTION _____

DIRECTION FROM AND NAME OF NEAREST INTERSECTION _____ VILLAGE _____

4. SECTION _____ BLOCK _____ LOTS _____ ZONE _____

REASON FOR APPEAL TO CHANGE PRESENT STATUS ATTACH RIDER IF ADDITIONAL SPACE IS REQUIRED.

AFFIDAVIT OF OWNERSHIP

5. COUNTY OF NASSAU }
STATE OF NEW YORK } ss:

_____ being duly sworn, deposes and says that he resides
NAME OF PROPERTY OWNER
at _____
STREET VILLAGE
in the County of _____ and State of _____ that he is
(the owner in fee)* (the _____) of _____ the corporation
which is owner in fee* of the premises described in this application shown on the Nassau County Tax Map as Section
No. _____ Block No. _____ Lot No. _____ that he has authorized
_____ to make this application* and that the statements of fact
contained in this application are true.

OWNER'S SIGNATURE

SWORN TO BEFORE ME THIS

day of _____ 20 _____

NOTARY PUBLIC

*STRIKE OUT INAPPLICABLE WORDS

6. IS THE SUBJECT PROPERTY LOCATED WITHIN 500 FEET OF ANY STATE PARK OR PARKWAY? (PURSUANT TO TOWN LAW 267-SUB 5.)
THESE SPACES FOR OFFICE USE ONLY

7. TYPE OF VARIANCE

REJECTED FOR ARTICLE _____ SECTION _____ FEE \$ _____

PREVIOUS BOARD OF APPEALS CASE NO ON THIS PLOT	TYPE OF APPLICATION	DATE REJECTED BY BUILDING DEPT MANAGER
--	---------------------	--

**ZONING BOARD OF APPEALS
TOWN OF OYSTER BAY, N.Y.
RULES OF PROCEDURE**

Application for a Variance

Application for a Variance shall be made by filing with the Secretary to the Board of Appeals a completed typewritten or printed application upon the form supplied by the Secretary, having thereon, a complete statement of the relief or the Variance sought by the applicant and a detailed statement of the practical difficulties and/or unnecessary hardship allegedly created or existing because of existing zoning regulations relating to the particular premises.

THE FOLLOWING MUST BE SUBMITTED WITH THE APPLICATION:

1. Two (2) copies of the Board of Appeals application with executed signature of fee owner.
2. The rejected building permit application together with two (2) sets of building plans.
3. Fourteen (14) legible copies of a survey of the subject property prepared by a licensed surveyor, showing all existing and/or proposed structures, drawn to scale indicating setbacks from property lines. For proposed structures/additions, an additional fourteen (14) copies of a plot plan showing the proposed structures/additions indicating setbacks from property lines is also requested. The plot plan CANNOT be substituted for surveys.
4. Fourteen (14) copies of a radius map, drawn to scale, showing the size and location of all parcels located within a radius of 100 feet measured from all points of the subject property having and printed and indicated thereon the name and mailing address and section, block, and lot for each parcel shown.
 - 4.1 A Disclosure Affidavit pursuant to Article II Division I Section 42 of the Building Zone Ordinance (For applicant & representative of applicant.)
 - 4.1a A Prior Application Affidavit listing all prior applications affecting subject property made to the Zoning Board of Appeals and/or the Town Board either for Change of Zone or Special Permit. If prior application has been made, include a copy of Town Board Resolution.
5. Proof of Notice (a) "NOTICE TO OWNERS AND OCCUPANTS" (on the form provided by the Board) shall be sent by mail to each owner, occupant and contract vendee (if any) of all parcels of property located within a radius of 100 feet measured from all points of the subject property lines. However, such notice must be sent by Certified Mail, Return Receipt Requested to those owning or occupying all properties abutting the subject property. Said notice shall be postmarked not less than TEN (10) days prior to the date set for the Public Hearing.
- b. An 'AFFIDAVIT OF MAILING' (on the form provided by the Board) having attached thereto a true and complete copy of the 'NOTICE TO OWNERS AND OCCUPANTS' together with U.S. Postal Receipt or "Certificate of Mailing" for each Certified letter mailed to the butting property owners, must be filed with the Secretary to the Board not less than ONE day prior to the date of the scheduled Public Hearing.
6. A separate application for a variance or permit shall be required in the following cases even though the applications relate to the same property or premises:
 - (a) for each building if more than one
 - (b) for each special exception requested
 - (c) for each use Variance requested
 - (d) for each Special Permit requestedNOTE: When applications relating to the same premises are filed simultaneously, the applicant shall be required to file one only completed set of surveys and maps with only two (2) additional for each additional separate application.
7. In the case of application for Variance from the plot area and/or width requirements of the Ordinance, the following shall be annexed to and made part of the application in addition to the foregoing.
 - (a) An abstract of title affirmed or sworn to by an attorney or by a recognized title examiner, in the form required by the Board, setting forth the Chain of Title (all records of conveyance) of the subject property and all adjacent and abutting plots on and from January 26, 1953 to date.

IMPORTANT: The abstract of title shall be typewritten printed on a letter or legal size paper and shall fore each conveyance recorded, show the full name of the grantor and the grantee, the date of deed, the date of recording and the liber and page.

Each conveyance recorded concerning any lot must indicate all other lots or property conveyed in the same instrument. If new lot numbers have been assigned since January 1953, the abstract shall indicate both the prior lot numbers and the new lot numbers.

II

APPLICATION FOR REVIEW OF ORDER OR DECISION

Any person or claimant who is aggrieved by the granting or denial of a permit by the Building Department, or from any order, requirement, decision, or determination by an administrative official charged with the enforcement of any Ordinance adopted pursuant to Article 16 of the Town Law, shall have thirty (30) days from the date of issuance of said permit, denial, or order to appeal to the Board of Appeals of the Town of Oyster Bay.

1. Such appeal shall be taken by filing with the officer from whom the appeal is taken and with the Board of Appeals a Notice of Appeal, specifying the grounds thereof.
2. All applications for an appeal as herein before described shall be applied for and heard in the same manner as an application for a Variance.

III

APPLICATION FOR A PERMIT

All applications to the Board of Appeals seeking a permit, which the Board of Appeals has original jurisdiction to grant, shall be applied for a heard in the same manner as all applications for a Variance.

IV

APPLICATION FOR SPECIAL PERMIT OR USE VARIANCE

In the case of an application for a Special Permit or a Use Variance, the applicant shall submit the following in addition to rules 1 thru 7.

- (a) Fourteen (14) copies of a survey radius map, prepared by a Licensed surveyor, indicating the parcel under consideration: all existing and proposed thereon, and all parcels located within a radius of 300 feet, measured from all points of the subject plot property lines. This survey radius map shall also include the zoning designation of the properties within the area as they exist on the official map of the Town of Oyster Bay, and the name and mailing address of the owner of each parcel shall be shown on said survey radius map as well as indication of all uses.
- (b) "NOTICE TO OWNERS AND OCCUPANTS" (as provided for in Rule No. I (5) (above) shall be sent to each property owner shown in the 300 feet radius area.
- (c) A last owners search by a recognized title company or affidavit by an attorney for all properties located within the three hundred (300) foot radius.

V

APPLICATION FOR SPECIAL PERMIT (PAVED PARKING)

In the case of a **SPECIAL PERMIT** to install paved parking facility of less area than required by the Ordinance, where sufficient vacant land is kept in reserve to provide required parking, a survey radius map as described in Rule #IV (a), is not required. Survey of the subject property and adjacent properties as provided for in Rule #1 (3) above is sufficient and property owners should be notified of the Public Hearing in the manner provided for in Rule #1 (5).

VI APPLICATION FOR REHEARING, AMENDMENT, OR EXTENSION OF TIME

In the case of an application for a public hearing for a Rehearing, , the application must be filed with the Secretary of the Board within ninety (90) days, Amendment, or Extension of Time (180 days) following the filing of the Board's decision or prior to a specified expiration time indicated on the decision. If the application is filed after the one-hundred & eighty (180) day period, fees will be imposed as set forth under Rule VII F-3. Any time granted by the Board under this provision shall be continuous from the date the decision is first filed in the Town Clerk's Office.

The application shall be in writing (on form supplied) and shall set forth the reasons for such request. Should the Board act unanimously to grant such rehearing, a date for rehearing shall be assigned and the applicant shall notify all property owners of such rehearing and purpose thereof, as in an original application (see Rule 5).

VII

SIGNS

(a) In case of an application for a Variance from the provisions of Sections 246-37 the erection of a sign, the applicant must comply with the Rules of Procedure for a Variance. Additionally, fourteen (14) copies of sign renderings for each sign must be submitted.

(b) In case of an application for a **SPECIAL PERMIT** from the provisions of Section 246-37-(I), for the erection of a sign, the applicant must comply with the Rules of Procedure for a Special Permit (IV above).

(c) In all cases where an illuminated sign is contemplated (other than black and white) a color rendering shall be submitted with intensity data included.

(d) All signs for extension of time pursuant to Sec. 246-37 shall follow requirements as set forth in the Rules of Procedure for a Variance.

VII

TOWN OF OYSTER BAY CODE OF ORDINANCES

FEES FOR VARIANCE

(a) AREA VARIANCES:

(1) Variance for additions, garages, etc. to residential dwellings-\$75.00 for first variance plus \$50.00 for each additional variance

(2) Variance for additions or extensions to existing commercial or industrial buildings \$200.00 plus \$200.00 for each additional variance

(3) Variance for new construction on vacant or undeveloped residential property \$300.00 plus \$75.00 for each additional variance exceeding one.

(4) Variance for new construction on vacant or undeveloped commercial or industrially zoned property \$400.00 plus \$100.00 for each additional variance exceeding one.

(5) Variance pursuant to 280-A of the Town Law \$200.00 plus normal variance charges.

(6) Variance from fence height restrictions - \$75.00

(7) Variance for barbed wire fencing (Commercial Zones Only) - \$150.00

(8) Variance for location of a fallout shelter - \$20.00

(9) Variance for Parent/Child in one family residence - \$200.00

(10) Variance for time extension for Parent/Child -\$150.00

(b) USE VARIANCES:

(1) A Use Variance to allow off-street parking to extend into residential zoned property in conjunction with a business use \$500.00.

(2) A Use Variance to extend a business zone up to and including 50 feet-\$500.00

(3) A Use Variance to permit commercial use (non-residential use) in residential zoned property -\$500.00.

(c) SPECIAL USE PERMITS:

(1) A Special Permit for a two-family residence-\$500.00.

(2) A Special Use Permit for a Radio Tower in excess of 50 feet in height - \$350.00

(3) A Special Permit to permit an off-street parking area to be created on a plot that does not contain the principle business - \$500.00

(4) A Special Permit pursuant to Chapter 246 - Section 23 (housing animals & fowl) \$500.00

(5) A Special Permit pursuant to Chapter 246 - Section 27 (public parking)-\$500.00.

(6) A Special Permit from provisions Chapter 246 - Section (I) non-conforming sign \$500.00.

(7) A Special Permit pursuant to Chapter 246 Section 38 -(trailers, tourists,camps) \$500.00.

(8) A Special Permit pursuant to Chapter 246 -Section 239-(15) -(pin-ball machines)-\$500.00

(d) SIGN VARIANCES (From Chapter 246 Sections 37):

(1) Variance for setback and area up to 10 feet and 60 square feet-\$275.00.

(2) Variance for less than 10-foot setback or for over 100 square feet in area-\$400.00.

(3) Variance for each additional sign exceeding one and for variance of height limitation \$250.00

(4) Variance for wall signs exceeding 300 square feet in area or for signs that do not face public parking or exceed height limitations-\$275.00.

(e) OFF-STREET PARKING VARIANCES:

(1) Variance for reduction of stall size for off-street parking \$300.00.

(2) Variance for reduction of paving for off-street parking-\$200.00.

(3) Variance to permit tandem parking (residential only) \$100.00

(5) Variance to reduce residentially required parking pursuant to Article III, Division 1, Section 117-\$75.00.

(6) Variance for reduction in number of required off-street parking spaces-\$500.00.

(f) ADMINISTRATIVE FEES:

(1) Application for Re-advertising caused by error in location, name etc.-\$100.00.

(2) Direct Appeal for judgment of decision of administrative official-\$500.00.

(3) Extension of time:

(A) Requested within first 180 days-\$125.00.

(B) First request is within the first 240 days-\$125.00.

(C) First request is after 240 days but prior to one year-\$125.00

Said extension shall be limited to 270 days from original expiration date.

(Ord. of 1/2000

(4) Application for modification of restrictions or conditions-\$100.00.

(5) Application of Rehearing after decision has been filed in Town Clerk's Office: Same fee as original.

§ 246-5.3 SCHEDULE OF DIMENSIONAL REGULATIONS

[Amended 7-10-2001 by L.L. No. 3-2001]

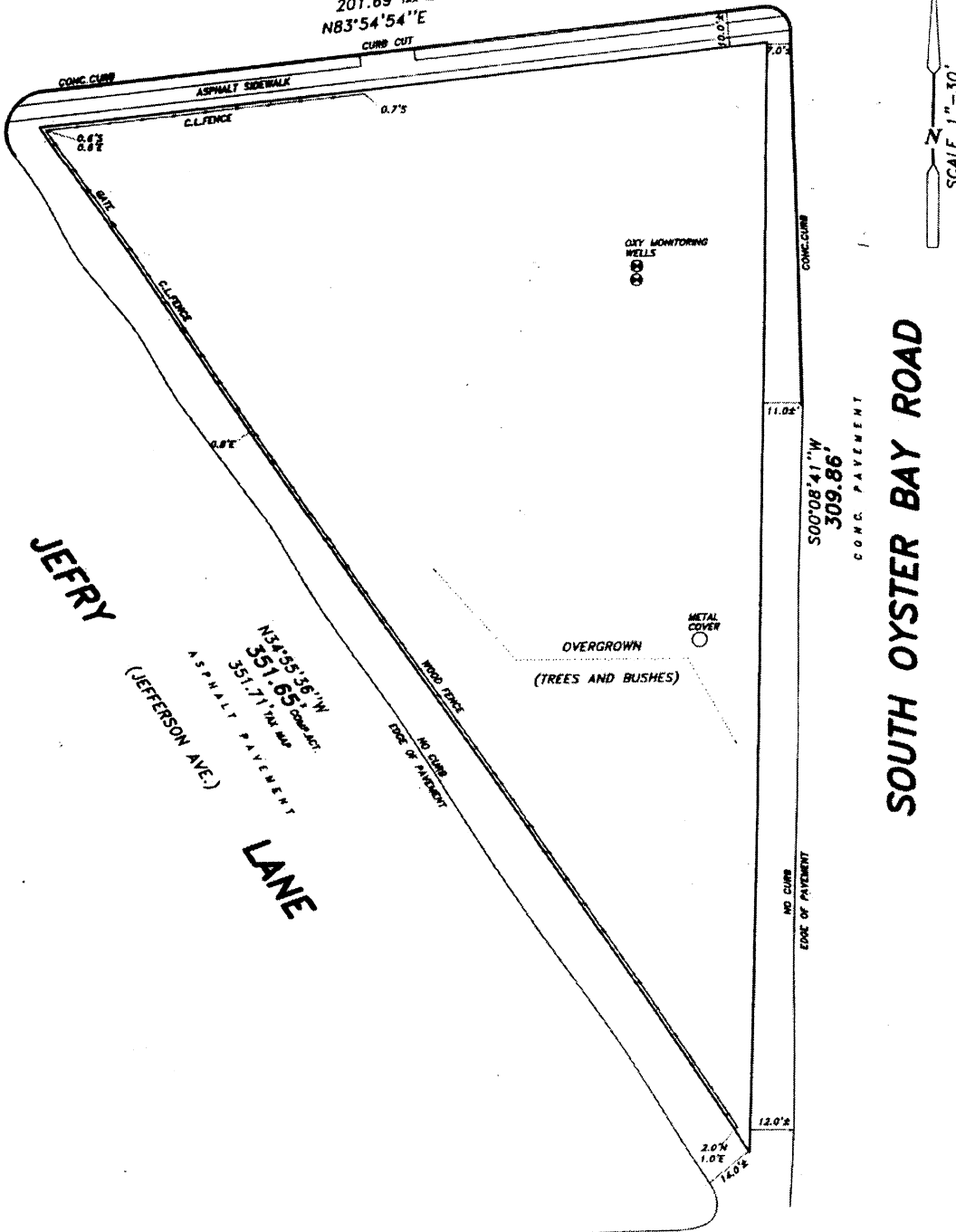
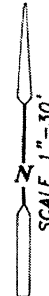
DISTRICT DESIGNATION	MINIMUM LOT AREA	MAXIMUM DWELLING UNIT DENSITY	MINIMUM LOT WIDTH/FRONTAGE (feet)	MAXIMUM BUILDING COVERAGE ⁽¹⁾ (%)	MAXIMUM FLOOR AREA RATIO	MAXIMUM FRONT YARD SETBACK (feet)	PRINCIPAL BUILDINGS										ACCESSORY BUILDINGS				
							MINIMUM YARDS (feet) (Also subject to buffer requirements of § 246-9.2)					MAXIMUM BUILDING HEIGHT (stories/feet)	MINIMUM YARDS (feet)			MAXIMUM BUILDING HEIGHT (feet)	MAXIMUM BUILDING COVERAGE REQUIRED REAR YARD (%)				
							FRONT ⁽²⁾	SIDE		REAR	FRONT		SIDE	REAR							
								ONE	BOTH												
RESIDENCE DISTRICTS																					
R1-5A	5 acres	1 unit per 5 acres	400	3	-	-	100	100	200	100	2/30	80	20	20	18	20					
R1-2A	2 acres	1 unit per 2 acres	200	6	-	100	60	30	70	100	2/30	80	20	20	18	20					
R1-1A	1 acre	1 unit per 1 acre	125	10	-	100	50	20	50	100	2/30	70	20	20	12	20					
R1-20	20,000 s.f.	1 unit per 20,000 s.f.	100	15	-	100	50	15	35	50	2/28	70	20	20	12	20					
R1-15	15,000 s.f.	1 unit per 15,000 s.f.	100	18	-	-	50	15	35	30	2/28	70	20	20	12	20					
R1-10	10,000 s.f.	1 unit per 10,000 s.f.	80	20	-	75	30	10	25	25	2/28	60	10	10	12	20					
R1-7	7,000 s.f.	1 unit per 7,000 s.f.	70	25	-	50	25	8	20	25	2/28	50	3	3	12	30					
R1-6	6,000 s.f.	1 unit per 6,000 s.f.	60	28	-	30	25	5	15	25	2/28	50	3	3	12	30					
RMF-6	5 acres	1 unit per 7,000 s.f.	-	15	-	-	50 ⁽³⁾	25 ⁽³⁾	50	30 ⁽³⁾	2/30	50	50	50	12	0					
RMF-10	5 acres	1 unit per 4,000 s.f.	-	20	-	-	50 ⁽³⁾	25 ⁽³⁾	50	30 ⁽³⁾	2/30	50	50	50	12	0					
RMF-16	5 acres	16 units per acre	-	25	-	-	25	25	50	25	2/30	25	10	10	12	0					
RSC-25	2 acres	25 units per acre	-	35	-	-	25	20 ⁽⁴⁾	40	25 ⁽⁵⁾	2/30	25	10	10	12	0					
RPH-20	2 acres	20 units per acre	-	35	-	-	25	20	40	25	2/30	25	10	10	12	40 ⁽⁶⁾					
NONRESIDENCE DISTRICTS																					
RO	6,000 s.f.	1 unit per 6,000 s.f.	-	30	-	30	25	5 ⁽⁷⁾	15	25 ⁽⁸⁾	2/28	50	3	3	12	30					
OB	20 acres	NA	-	10	0.25	-	200	100 ⁽⁹⁾	200	100 ⁽⁹⁾	3/40	200	100	100	40	0					
NB	10,000 s.f.	NA	50 ⁽¹⁰⁾	60	-	50	10	0 ⁽¹¹⁾	0	20	2/30	3	3	3	18	25					
CB	-	NA	40 ⁽¹¹⁾	70	See § 246-3.4.4.1.1	50	25	0 ⁽¹²⁾	0	20	-/60	25	0 ⁽¹³⁾	20	60	0					
GB	-	NA	40 ⁽¹¹⁾	80	-	50	10	0 ⁽¹²⁾	0	20	-/35	10	0 ⁽¹³⁾	20	35	0					
ORD	10,000 s.f.	NA	50 ⁽¹⁰⁾	50	-	-	25	0 ⁽¹²⁾	0	20	3/40	25	0 ⁽¹³⁾	20	35	0					
LI	1 acre	NA	50 ⁽¹⁰⁾	50	-	60	50	0 ⁽¹²⁾	0	30	-/50	50	0 ⁽¹³⁾	30	35	0					

NA: Not Applicable
 (1) Except a minimum of 35 feet from private roadway or common driveway.
 (2) Except a minimum of 50 feet where adjacent to a one-family residence district.
 (3) Except a minimum of 35 feet where adjacent to a one-family residence district.
 (4) Except a minimum of 40 feet where adjacent to a one-family residence district.
 (5) Minimum street frontage requirement of 50 feet.
 (6) Except a minimum of 10 feet where adjacent to a one-family residence district.
 (7) Except a minimum of 35 feet where adjacent to a one-family residence district.
 (8) Average front yard setback may be reduced from stated line to minimum front setback.
 (9) Minimum street frontage requirement of 50 feet.
 (10) Maximum Building Coverage for lots in an approved conservation subdivision shall be based upon a lot of the minimum size normally required in the district in which it is located.
 (11) Maximum Building Coverage for lots in an approved conservation subdivision shall be based upon a lot of the minimum size normally required in the district in which it is located.
 (12) Maximum Building Coverage for lots in an approved conservation subdivision shall be based upon a lot of the minimum size normally required in the district in which it is located.
 (13) Maximum Building Coverage for lots in an approved conservation subdivision shall be based upon a lot of the minimum size normally required in the district in which it is located.

HAZEL

STREET

CONC. PAVEMENT
203.26' COMP. ACT
201.69' TAX MAP
N83°54'54"E
CURB CUT



JEFFRY

(JEFFERSON AVE.)

LANE

N54°55'36"W
351.65' COMP. ACT
351.71' TAX MAP
ASPHALT PAVEMENT

SOUTH OYSTER BAY ROAD

50°08'41"W
309.86'
CONC. PAVEMENT

NOTES:
UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW.
COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A TRUE COPY.
GUARANTEES OR CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND NONE IN BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. GUARANTEES OR CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

Surveyed For: NORTHROP GRUMMAN CORP.
Surveyed: SEPTEMBER 10, 2001
Surveyed: SEPT. 14, 2001 - REVISED
Surveyed: JULY 23, 2002 - MONITORING WELLS ADDED
Surveyed By: *Albert A. Bianco*
Guaranteed To: ABOVE,

Tax Sec. 46 Tax Bl. 503
Lots 3
Filed Map Block Lots
BETHPAGE
NASSAU Co.

ALBERT A. BIANCO
Professional Land Surveyor - City Surveyor
BROOKLYN-QUEENS-BRONX-MANHATTAN-STATEN ISLAND-NASSAU-SUFFOLK
INWOOD, NASSAU, N.Y. 11096
718-327-6532 516-239-9253 FAX 516-239-9214



JUL 23 2002



Miller Springs Remediation Management, Inc.

An affiliate of Glenn Springs Holdings, Inc.

Stephen A Whyte
Vice President, Operations
Direct Dial (859) 543-2151

2480 Fortune Drive, Suite 300
Lexington, KY 40509
Facsimile (859) 543-2171

March 4, 2005

Mr. Kenneth Bishop
Town of Oyster Bay
Department of Public Works
Division of Highway
150 Miller Place
Syosset, New York 11791

Dear Mr. Bishop:

Re: Application for Permanent Test Wells
Phase I Biosparge Remedy, Hicksville, NY

In compliance with an Administrative Order (AO) entered into with the U.S. Environmental Protection Agency (EPA), Miller Springs Remediation Management, Inc. (MSRMI) is performing remedial activities to address the vinyl chloride plume in the groundwater in the vicinity of the Hooker Chemical/Ruco Polymers Superfund Site located in Hicksville, New York. One component of these remedial activities, which are being performed under the oversight of the EPA, is the installation and operation of an in situ biosparge treatment system. The biosparge treatment system will consist of the installation and operation of air injection wells and liquid injection wells to enhance the degradation of the vinyl chloride to inert compounds.

The system also includes the installation of groundwater monitoring wells and unsaturated zone (vadose zone) soil gas monitoring wells which are needed to monitor the effectiveness of the treatment system. Atmospheric air will be compressed and injected into the injection wells. The liquid injections will consist of sugar byproducts diluted with water. The compressor and controls for the biosparge system are to be housed in a control building to be constructed on Section 46, Block 503, Lot 3.

Phase I of the biosparge system stipulated in the AO is to be installed in 2005 and is the subject of this request. Phase I is a portion of the "middle fence line" of the three lines of the biosparge system. There are three specific wells from Phase I that are located on Town of Oyster Bay property. These are injection wells IW-16 and IW-17 and monitoring well MW-81 located in the Hazel Street right-of-way. MSRMI is applying for approval to install these wells.

Pursuant to the Application, please find attached the following:

- i) Agreement signed by MSRMI;
- ii) Drawings CI-02 and MP-05 providing the details of the injection wells, groundwater monitoring wells, and vadose zone monitoring wells;
- iii) Drawing MP-01 showing the location of the Phase I system;
- iv) Oxy Inc. letter noting the "self-insurance" coverage in place; and
- v) A certified cheque in the amount of \$4,500 for the three well locations located on Town of Oyster Bay property.

In addition, Drawing CI-03 provides the details of the trenches in which the injection forcemains and control conduits connecting the injection wells are to be placed in.

The items required from the contractor selected to install the wells will be provided 7 days in advance of mobilization to the Site once the contractor has been retained. Please let us know if you require the contractor items more than 7 days in advance.

Please contact either Steve Whyte at (859) 543-2151 or email steve_whyte@oxy.com if you have any questions or comments or require additional information to approve this application.

Sincerely yours,



per Steve Whyte
Project Manager

KDS/ja/6883/1

Encl.

c.c.: S. Quadri (USEPA)
K. Lynch (USEPA)
M. E. Wieder (USEPA)
S. Scharf (NYSDEC)
T. Kelly (Nassau County)
J. Kay (CRA)



Richard W. Lenz, P.E., N.S.P.E.
Commissioner

TOWN OF OYSTER BAY
DEPARTMENT OF PUBLIC WORKS
Syosset, New York 11791-5699
www.oysterbaytown.com

(516) 677-5935

Permanent Test Well Applicant:

The following items are needed for Town Board approval of your temporary test well(s):

- 1) Signed agreement
- 2) Diagram of permanent test well
- 3) Site plans
- 4) Insurance
 - a) \$1,000,000 personal
 - b) \$1,000,000 property
 - c) Town of Oyster Bay must be named as additional insured *and must have an Endorsement*
 - d) \$1,500 deposit for every permanent test well
(Note: deposits must be made by certified check)

In addition to the above, the company installing the permanent test well(s) (whether it is the company signing the agreement or a subcontractor) must have the following items on file with the Highway Division Permit Office:

- 1) Liability Insurance in the amounts of \$1,000,000 and \$500,000
- 2) Two year \$10,000 Surety Bond
- 3) Town of Oyster Bay must be named as additional insured and must have an Endorsement
- 4) Right-of-way permit (\$100.00 per permanent test well)

Enclosed you will find a Permanent Test Well application. This agreement should be mailed to the Highway Division, 150 Miller Place, Syosset. If you need additional information, please contact the Road and Drainage Bureau at (516) 677-5851.

RICHARD W. LENZ, P.E.
COMMISSIONER OF PUBLIC WORKS

RICHARD T. BETZ
DEPUTY COMMISSIONER OF PUBLIC WORKS

Enclosure



TOWN OF OYSTER BAY
 DEPARTMENT OF PUBLIC WORKS
 Syosset, New York 11791-5699
 www.oysterbaytown.com

Richard W. Lenz, P.E., N.S.P.E.
 Commissioner

(516) 677-5935

AGREEMENT FOR PERMANENT TEST WELL

THIS AGREEMENT MADE the _____ day of _____, 2005
 between the Town of Oyster Bay, a municipal corporation, having its
 principal place of business at Town Hall, Audrey Avenue, Oyster
 Bay, New York, 11771 (hereinafter referred to as the TOWN), and
 Miller Springs Remediation Management, Inc. having its principal place of
 business at 2480 Fortune Drive, Suite 300, Lexington, KY 40509
 (hereinafter referred to as MSRMI).

WITNESSETH

WHEREAS, MSRMI has requested Town
 permission to install permanent test well(s) within the TOWN's
 right-of-way on Hazel Street, in Hicksville
 New York: WHEREAS, the Town has passed Resolution No. _____,
 permitting the Town Supervisor to enter into and sign and execute
 an agreement between the Town and MSRMI;
 NOW, THEREFORE, it is mutually agreed as follows:

- 1) MSRMI, prior to placing its permanent
 test wells - wells which for this agreement will mean wells that
 remain in the Town's right-of-way for no more than a day - will
 file with the Highway Division a certificate of insurance in the
 amount of one (1) million dollars personal and one (1) million
 dollars property damage for each temporary test well. MSRMI
 _____ will also see that the Town is named as
 additional insured and that the Town receives a site plan
 indicating the location of all permanent test wells.

2) MSRMI will deposit with the Town (\$1,500 per well) for 3 permanent test well(s) it plans to install in the Town's right-of-way. (Deposit money will be returned when the permanent test well or wells are removed to the satisfaction of the Town.)

3) MSRMI agrees to indemnify and hold harmless the Town, its officers and employees, from any and all claims, suits, losses, damages, or injury to person or property of whatsoever kind of nature, whether direct or indirect, arising out of the performance of this agreement or the carelessness, negligence or improper conduct of MSRMI and/or its subcontractors, agents, or employees.

4) MSRMI will bear all costs for installation and maintenance and removal of its temporary test wells. MSRMI will also see that the installation and removal of its temporary test wells meet New York State Department of Environmental Control guidelines.

5) MSRMI will provide the Town with copies of all logs, sample results and/or records obtained from installing its temporary test wells.

6) This agreement will be for an indefinite period. The Town Board, however, upon thirty (30) days notice, may revoke its permission for MSRMI - _____ to install or maintain its temporary test wells. If after being notified, MSRMI _____ does not remove its temporary test wells, the Town will remove the temporary test wells and submit the cost to MSRMI _____ for reimbursement.

IN WITNESS WHEREOF, the parties hereto set their hands and seal this 8th of March, 2005.

BY: _____
JOHN VENDITTO
TOWN SUPERVISOR

DATED:
Oyster Bay, New York 11771

BY: S.A. Whyte
Stephen A. Whyte
Vice President, Operations



- LEGEND**
- GM-11S EXISTING MONITORING WELL LOCATION
 - 700 --- VCM CONCENTRATION CONTOUR (µg/L)
 - PROPOSED FORCEMAIN ALIGNMENT
 - ⊙ IW-8 PROPOSED INJECTION WELL
 - ⊙ MW-80 VZ-9 PROPOSED GROUNDWATER AND VADOSE ZONE MONITORING WELLS (SEMI-ANNUAL)
 - ⊙ MW-72 VZ-1 PROPOSED GROUNDWATER AND VADOSE ZONE MONITORING WELLS (SEMI-ANNUAL)
 - GROUNDWATER (QUARTERLY FOR FIRST 2 YEARS OF OPERATION)
 - VADOSE ZONE (SHORTLY AFTER START OF AIR INJECTION, MONTHLY FOR FIRST QUARTER, QUARTERLY FOR THE REMAINDER OF FIRST 2 YEARS OF OPERATION)
 - ⊙ MW-71 PROPOSED GROUNDWATER MONITORING WELL
 - (MONTHLY FOR THE FIRST QUARTER, QUARTERLY FOR THE REMAINDER OF FIRST 2 YEARS OF OPERATION)

SCALE VERIFICATION: THIS BAR MEASURES 1" ON ORIGINAL. ADJUST SCALE ACCORDINGLY.

No.	Revision	Date	Initial

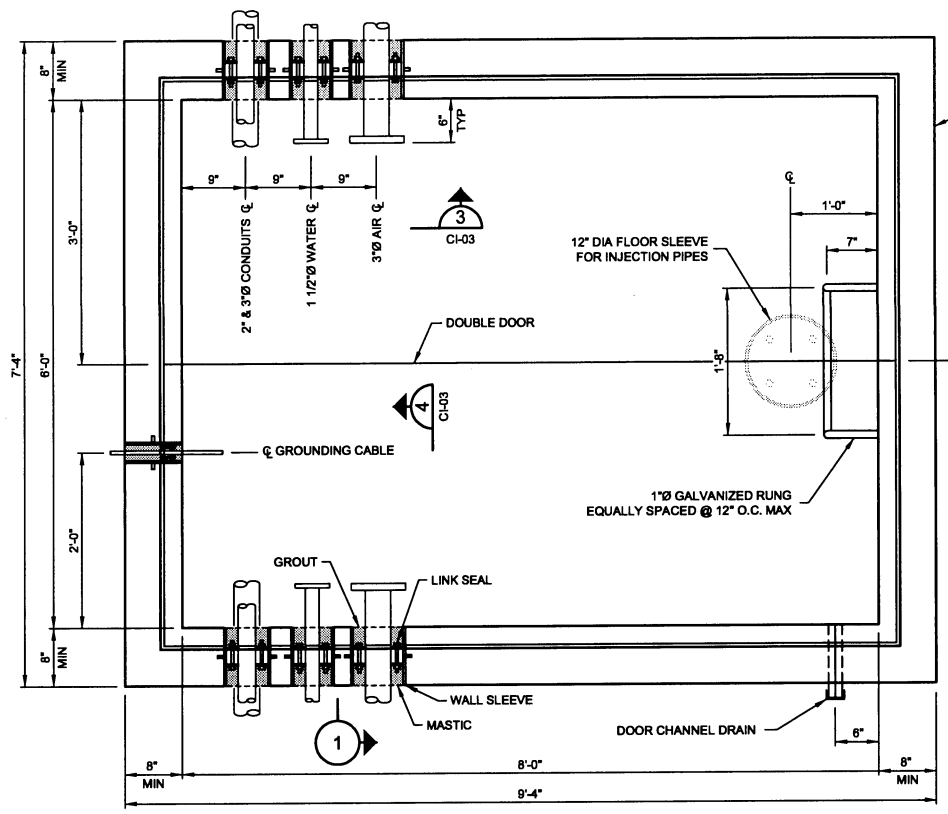
Approved _____

HOOKER/RUCO SITE
HICKVILLE, NEW YORK

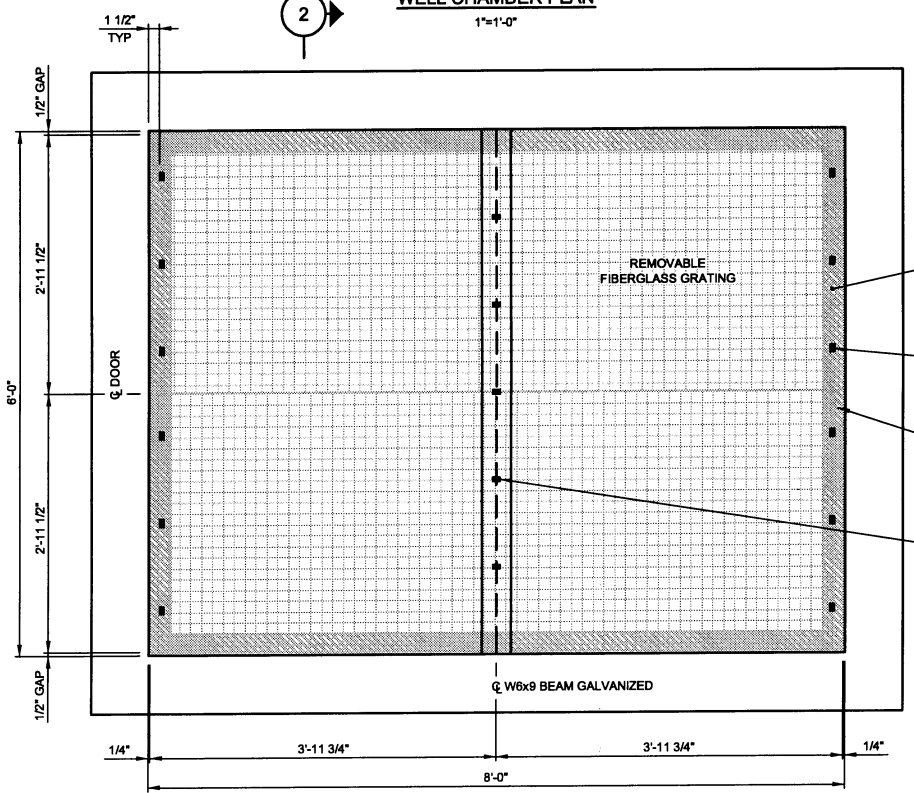
BIOSPAGE TREATMENT SYSTEM

CONTROL BUILDING AND WELL
FIELD PIPING PLAN

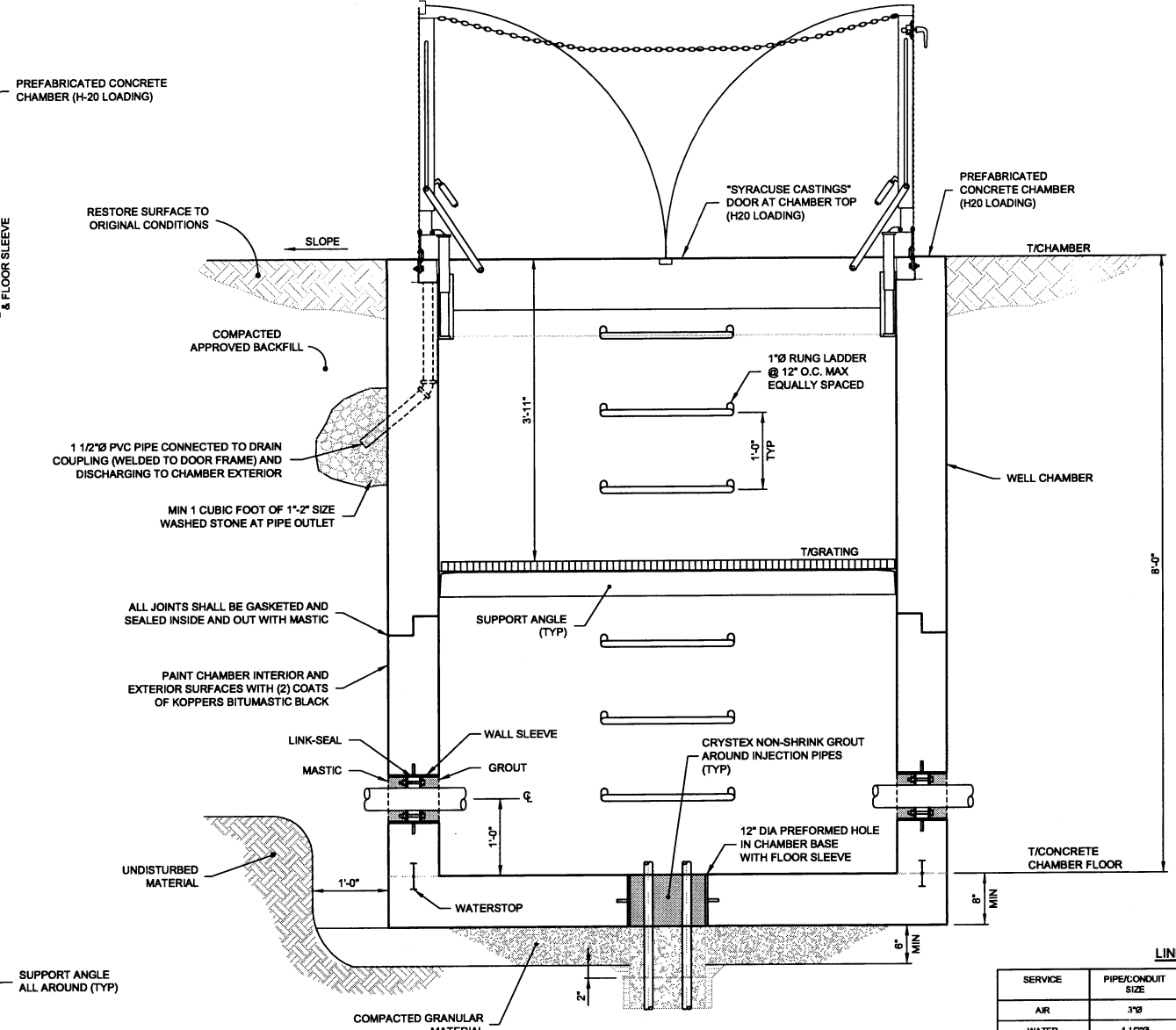
CONESTOGA-ROVERS & ASSOCIATES		Source Reference:	Date:
			MARCH 2005
Project Manager:	Reviewed By:	Designed By:	Drawn By:
J. KAY			B.A. BEEBE
Scale:	Project No:	Report No:	Drawing No:
1" = 80'	06883-95	BISH001	MP-01



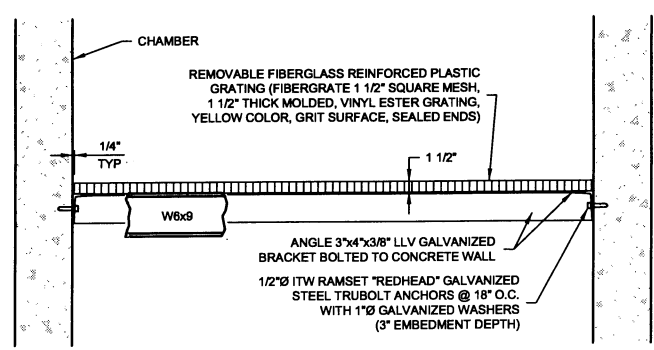
WELL CHAMBER PLAN
1"=1'-0"



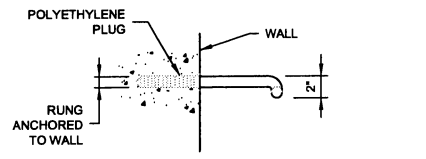
GRATING PLAN
1"=1'-0"



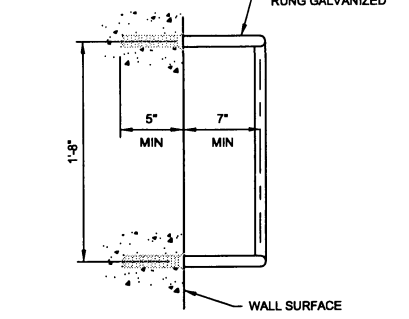
SECTION 1
1"=1'-0"



SECTION 2
1"=1'-0"

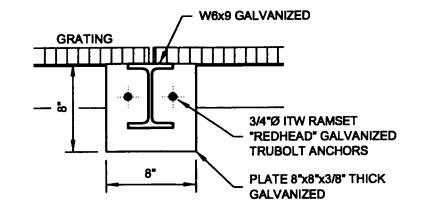


SIDE VIEW



PLAN

RUNG DETAIL
1 1/2"=1'-0"



BEAM PLATE DETAIL
1 1/2"=1'-0"

LINK SEALS AND WALL SLEEVES

SERVICE	PIPE/CONDUIT SIZE	PIPE MATERIAL	CHAMBER WALL SLEEVE	CHAMBER LINK SEAL
AIR	3/8"	STEEL	WS-5-25-S	LS-300 (8 LINKS PER SEAL)
WATER	1 1/2"	HDPE	CS-3 1/2	LS-275 (8 LINKS PER SEAL)
CONDUIT	2"	PVC	CS-4	LS-300 (8 LINKS PER SEAL)
CONDUIT	3/8"	PVC	CS-5	LS-300 (8 LINKS PER SEAL)
GROUND CABLE	-	-	WS-2-15-S	LS-200 (4 LINKS PER SEAL)
WELL	-	-	CS-12	-

NOTES

- FOR WELL CHAMBER ORIENTATION REFER TO MECHANICAL DRAWING.
- LINK SEALS AND WALL SLEEVES BY THUNDERLINE CORPORATION.
- WALL SLEEVE LENGTH TO BE THE SAME AS CHAMBER CONCRETE THICKNESS.
- WALL SLEEVE CS SHALL BE HDPE PLASTIC AND WS SHALL BE GALVANIZED STEEL.
- LOCATION OF 12" DIA SLEEVE IN CHAMBER FLOOR FOR INJECTION PIPES SHALL BE IN ACCORDANCE WITH MECHANICAL DRAWINGS.
- LOCATIONS OF 1 1/2" DIA WATER AND 3" DIA AIR PIPING PENETRATIONS IN CHAMBER WALLS SHALL BE IN ACCORDANCE WITH MECHANICAL DRAWINGS.
- GRATING OPENINGS AND CUTOUTS FOR PIPING SHALL BE FIELD LOCATED IN ACCORDANCE WITH MECHANICAL DRAWINGS.
- CHAMBER DOOR SHALL BE FOR H2O LOADING AS MANUFACTURED BY SYRACUSE CASTING SALES CORPORATION (TEL. (315) 699-2601, WWW.SYRCAST.COM).
- LOWER 4'-0" SECTION OF CHAMBER WALLS AND BASE SLAB SHALL BE CONSTRUCTED MONOLITHIC (SINGLE CONCRETE PLACEMENT) WITHOUT COLD JOINTS.
- COMPACTION OF BACKFILL AROUND PIPING AND CONDUIT SHALL BE PERFORMED CAREFULLY TO AVOID DISPLACEMENT OF PROTRUDING PIPE/CONDUIT AND TO PRESERVE SEAL AGAINST WATER INTRUSION.

SCALE VERIFICATION: THIS BAR MEASURES 1" ON ORIGINAL. ADJUST SCALE ACCORDINGLY.

No.	Revision	Date	Initial

Approved: _____

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**HOOKER/RUCO SITE
HICKSVILLE, NEW YORK**

BIOSPARGE TREATMENT SYSTEM

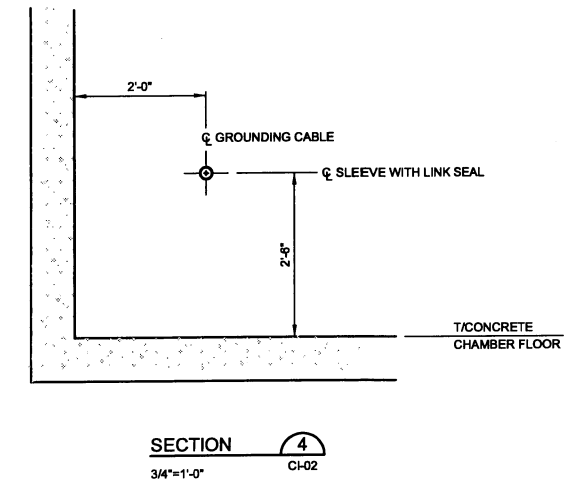
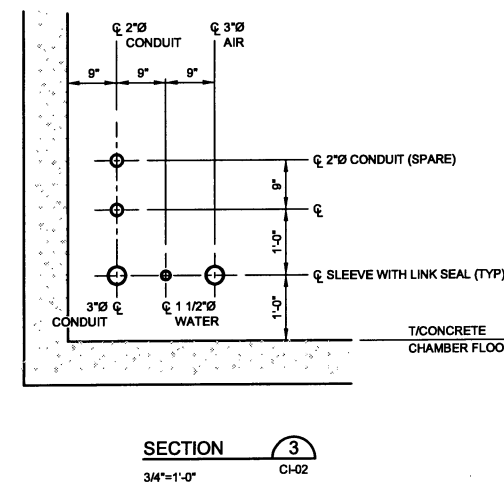
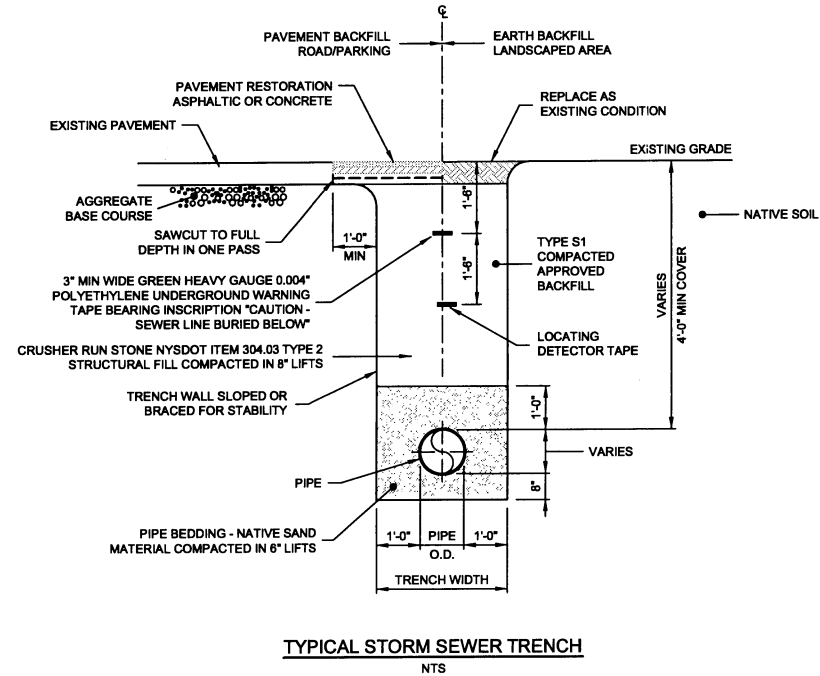
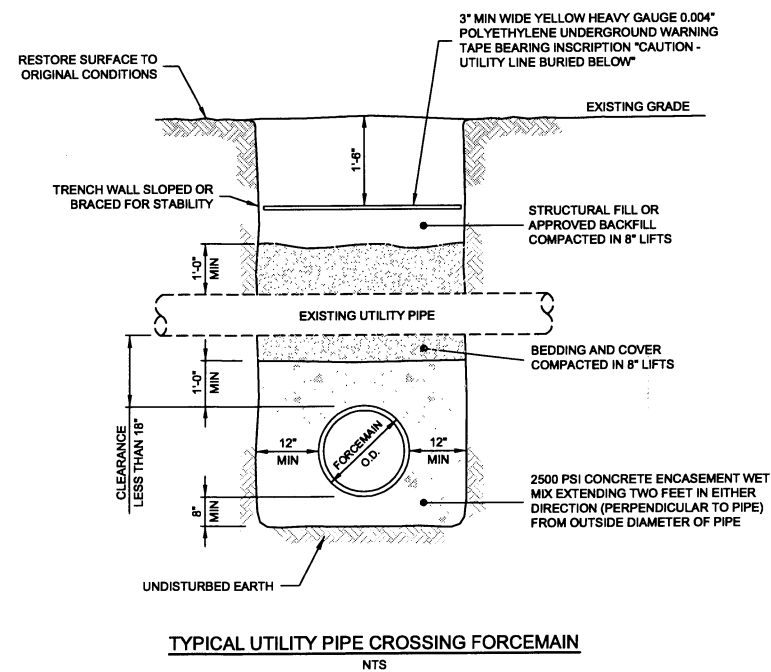
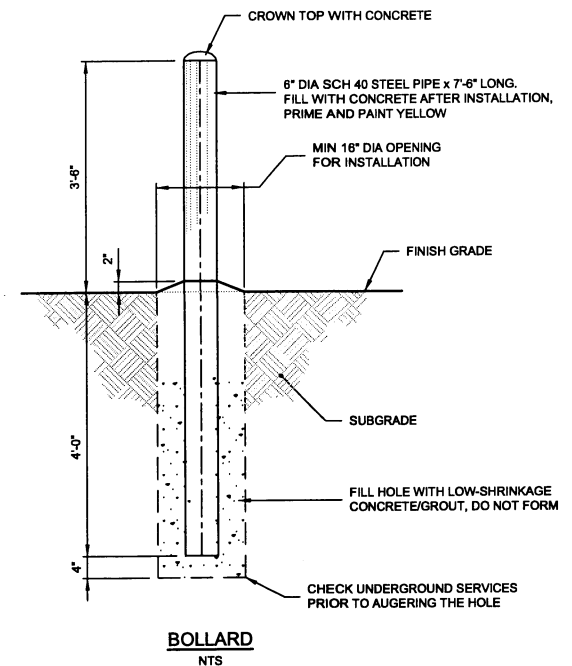
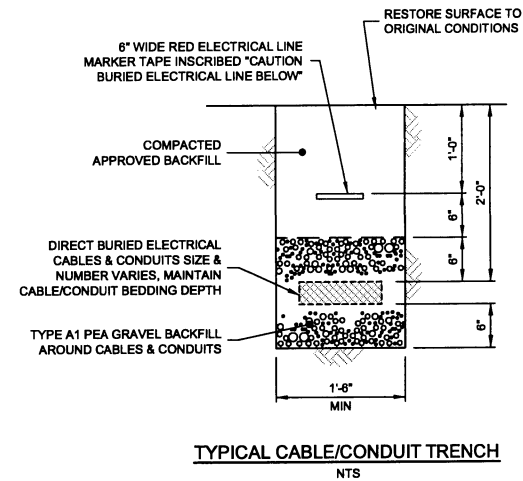
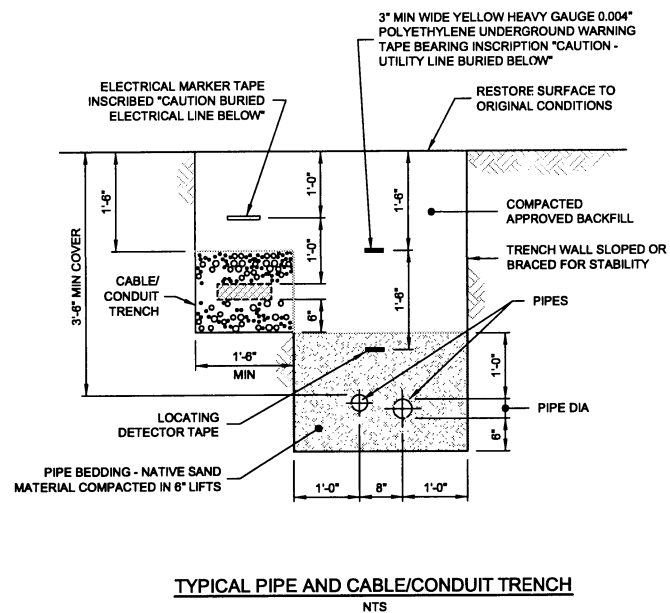
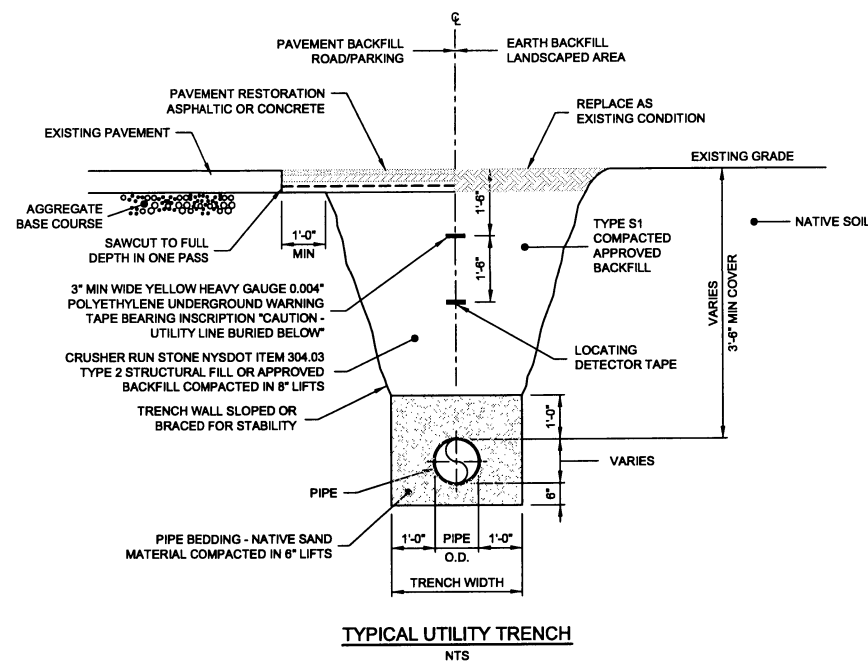
**CONTROL BUILDING AND WELLS
WELL CHAMBERS**

R&D ENGINEERING, INC.
A subsidiary of Conestoga-Rovers & Associates

Source Reference: _____ Date: MARCH 2005

Project Manager: JK	Reviewed By: JGRW	Designed By: SKM	Drawn By: ZM
Scale: AS NOTED	Project No: 06883-95	Report No: BISH001	Drawing No: CI-02

06883-95(BISH001)CI-WA001 MAR 11/2005



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No	Revision	Date	Initial

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HOOKER/RUCO SITE
HICKSVILLE, NEW YORK

BIOSPARGE TREATMENT SYSTEM

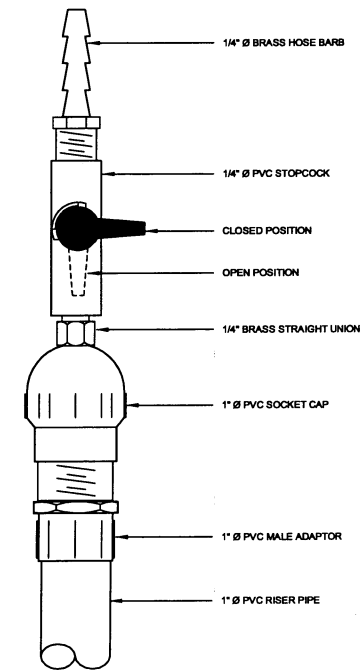
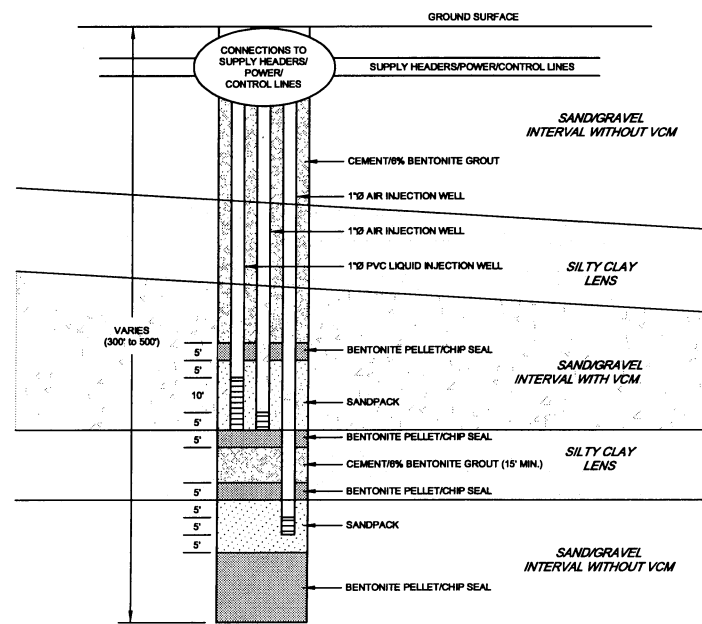
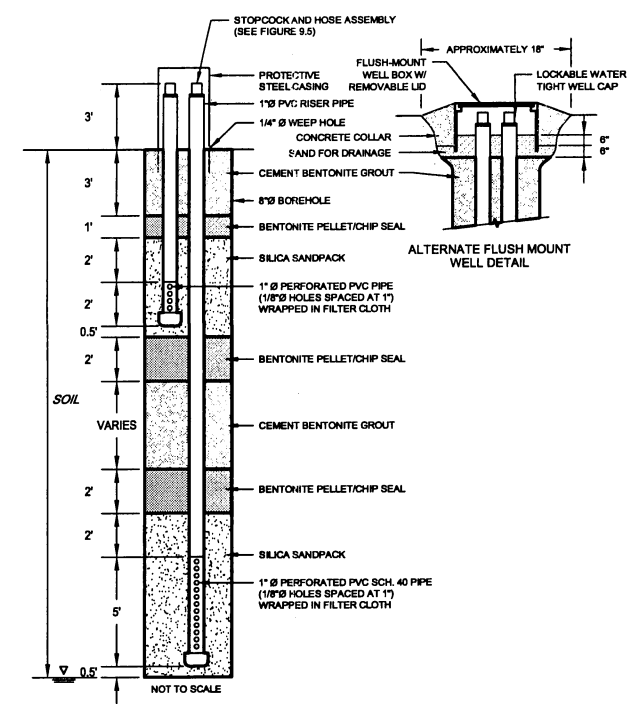
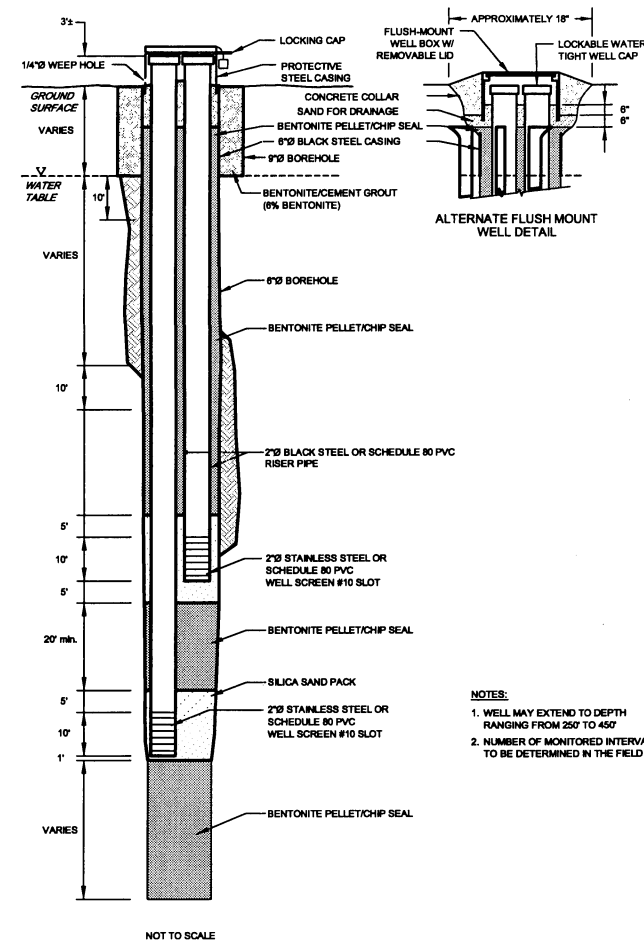
CONTROL BUILDING AND WELLS
TRENCH SECTIONS

CRA R&D ENGINEERING, INC.
A subsidiary of Conestoga-Rovers & Associates

Source Reference:	Date:
Project Manager:	MARCH 2005
Reviewed By:	
Designed By:	
Drawn By:	
Scale:	
AS SHOWN	
Project No:	
06883-95	
Report No:	
BISH001	
Drawing No:	
CI-03	

	Depth to Top of Sandpack (ft. bgs)	Depth to Top of Screen (ft. bgs.)	Depth to Bottom of Screen (ft. bgs.)	Depth to Bottom of Sandpack (ft. bgs.)	Pipe/Screen Diameter (in.)	Pipe/Screen Material
a) North Fence						
Liquid-Injection Wells	245	250	255	260	1.0	PVC
Air-Injection Wells						
- Shallow	245	250	255	260	1.0	CS/SS
- Deep	285	290	295	300	1.0	CS/SS
Vadose Zone Wells						
- Shallow	4	6	8	8.5	1.0	PVC
- Deep	53	55	60	60.5	1.0	PVC
Groundwater Wells						
- Shallow	195	200	210	215	2.0	CS/SS or PVC
- Deep	235	240	250	251	2.0	CS/SS or PVC
b) Middle Fence						
Liquid-Injection Wells	360	365	370	375	1.0	PVC
Air-Injection Wells						
- Shallow	360	365	370	375	1.0	CS/SS
- Deep	400	405	410	415	1.0	CS/SS
Vadose Zone Wells						
- Shallow	4	6	8	6.5	1.0	PVC
- Deep	53	55	60	60.5	1.0	PVC
Groundwater Wells						
- Shallow	300	305	315	320	2.0	CS/SS or PVC
- Deep	340	345	355	356	2.0	CS/SS or PVC

WELL INSTALLATION ESTIMATED DEPTHS



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No	Revision	Date	Initial

Approved

HOOKER/RUCO SITE
HICKSVILLE, NEW YORK

BIOSPARGE TREATMENT SYSTEM

WELL DETAILS &
LAVATORY PLUMBING

CRA CONESTOGA-ROVERS & ASSOCIATES		Date: MARCH 2005	
Source Reference:	Date:		
Project Manager: J. KAY	Reviewed By:	Designed By:	Drawn By:
Scale: NONE	Project No: 06883-95	Report No: BISH001	Drawing No: MP-05



OXY Inc.
Occidental Tower
5005 LBJ Freeway, Dallas, TX 75244-6119
P.O. Box 809050, Dallas, TX 75380-9050
972/404-3542 FAX: 972/404-3937
Internet Address: steven_jones@oxy.com

Steven H. Jones
Assistant Director – Casualty Insurance

March 8, 2005

Mr. Kenneth Bishop
Town of Oyster Bay
Department of Public Works
Division of Highway
150 Miller Place
Syosset, New York 11791

**RE: HOOKER CHEMICAL / RUCO POLYMERS SUPERFUND SITE LOCATED
IN HICKSVILLE, NEW YORK**

Dear Mr. Bishop:

Miller Springs Remediation Management, Inc. (MSRMI), a subsidiary or affiliate of Occidental Petroleum Corporation, is insured through Occidental's worldwide insurance program. Occidental Petroleum Corporation is a multi-national corporation with assets in excess of \$20.4 billion dollars and stockholders' equity in excess of \$9.8 billion dollars. Occidental, like other multi-national corporations, self-insures, directly or indirectly, through deductibles and other risk finance alternatives, the majority of its primary layers of casualty and property insurance. This letter will serve as evidence that Occidental agrees to, directly or indirectly, self-insure the liability assumed in the subject agreement.

Oxy Inc. acts as the administrative entity for Occidental Petroleum Corporation and its subsidiaries and affiliates.

Should you have any questions or need assistance please contact our department.

Sincerely,

A handwritten signature in black ink, appearing to read "S. Jones", is written over a faint circular stamp or watermark.

Steven H. Jones, CPCU, ARM
Assistant Director - Casualty Insurance

cc: Stephen A. Whyte - MSRMI

ACORD™ CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
04/18/05

PRODUCER

Aon Risk Services of Texas, Inc
dba Aon Risk Ins Services of TX, Inc.
Lic.# 0559715
1330 Post Oak Blvd.
Suite 900
Houston TX 77056-3089 USA
PHONE (832) 476-6000 FAX (832) 476-6590

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

INSURED

Occidental Petroleum Corp.
10889 Wilshire Blvd
Los Angeles CA 900240000 USA

INSURER A: National Union Fire Ins Co of Pittsburgh
INSURER B:
INSURER C:
INSURER D:
INSURER E:

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE(MM/DD/YY)	POLICY EXPIRATION DATE(MM/DD/YY)	LIMITS	
	GENERAL LIABILITY <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY CLAIMS MADE <input type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				EACH OCCURRENCE	
					FIRE DAMAGE(Any one fire)	
					MED EXP (Any one person)	
					PERSONAL & ADV INJURY	
					GENERAL AGGREGATE	
					PRODUCTS - COMP/OP AGG	
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident)	
					BODILY INJURY (Per person)	
					BODILY INJURY (Per accident)	
					PROPERTY DAMAGE (Per accident)	
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT	
					OTHER THAN AUTO ONLY: EA ACC AGG	
	EXCESS LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION				EACH OCCURRENCE	
					AGGREGATE	
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATUTORY LIMITS	OTHER
					E.L. EACH ACCIDENT	
					E.L. DISEASE-POLICY LIMIT	
					E.L. DISEASE-EA EMPLOYEE	
A	<input checked="" type="checkbox"/> OTHER Pollutn/Env Imp	GLCM3602088 Pollution policy	12/01/04	11/01/05	Aggregate Limit	\$1,000,000
					Per Occurrence Limit	\$1,000,000

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

Town of Oyster Bay is added as an Additional Insured as required by written contract but limited to the operations of the Insured under said contract, and always subject to the policy terms, conditions and exclusions.

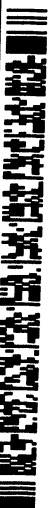
Town of Oyster Bay
Attn: Fred Mei
Dept. of Public Works
Syosset NY 11791-5699 USA

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

Aon Risk Services of Texas, Inc.

Holder Identifier : 570013241881 Certificate No :



ENDORSEMENT

This endorsement, effective 12:01 A.M. 12/01/2004 forms a part of

policy No. GLCM 360-20-88 issued to OCCIDENTAL PETROLEUM CORPORATION

by NATIONAL UNION FIRE INSURANCE COMPANY OF PITTSBURGH, PA

THIS ENDORSEMENT CHANGES THE POLICY. PLEASE READ IT CAREFULLY.

ADDITIONAL INSURED - WHERE REQUIRED UNDER CONTRACT OR AGREEMENT

This endorsement modifies insurance provided under the following:

COMMERCIAL GENERAL LIABILITY COVERAGE FORM

Section II - Who is an Insured, 1., is amended to add:

- f) Any person or organization to whom you become obligated to include as an additional insured under this policy, as a result of any contract or agreement you enter into which requires you to furnish insurance to that person or organization of the type provided by this policy, but only with respect to liability arising out of your operations or premises owned by or rented to you. However, the insurance provided will not exceed the lesser of:
1. The coverage and/or limits of this policy, or
 2. The coverage and/or limits required by said contract or agreement.

Authorized Representative or
Countersignature (in States Where
Applicable)